



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: April 24, 2026, revised September 17, 2026

Applicant: John and Leslie DePalma
Address: 13 Woodmere Avenue, Rumson, NJ 07760
Block 133, Lot 8, Zone: R-4

I have reviewed the Land Use & Development Permit application for a new single-family home, with outdoor improvements including attached raised patios, and lower pool, spa and patios. The existing oversized, wide lot is nonconforming due to the lot shape circle.

The application was **denied** for the following non-conformities:

- (22-7.3) New dwelling on a nonconforming lot requires Board approval.
- (Sched 5-1) Principal rear yard setback of 32' whereas 40' is required.
- (Sched 5-1) Accessory (Raised, attached, rear patio) rear yard setback of 11.4' whereas 40' is required.
- (Sched 5-3) Maximum floor area of 3,770 square feet whereas 3,500 square foot is the maximum permitted in the R-4 zone (Floor Area Cap).
- Existing unchanged nonconformities: lot shape circle.

Supporting documents to the application include:

- Plot Plan prepared, signed & sealed, by Lindstrom, Diessner & Carr, P.C., dated March 12, 2025, revised May 27, 2026, three (3) sheets.
- Architectural Plans, prepared, signed & sealed by James Anderson, AI, dated March 11, 2026 for Zoning Submission, revised May 21, 2026, 6 sheets.
- Boundary & Topographic Survey, prepared by Lindstrom, Diessner & Carr, P.C., dated March 25, 2025, no revisions, one (1) sheet.

Please provide additional information and/or make the following changes to the plans:

- The retaining wall / planter structures have had solid bottoms, therefore must be included in lot coverage.
- Raised garden beds with impervious lining underneath count as coverage. Provide detail or explanation for exclusion on the plan.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use & Development Official

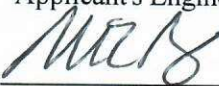
Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant



Borough of Rumson

BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

John DePalma and Leslie DePalma	c/o maikins@aikinslaw.com	c/o 732-280-2606	
Name of Applicant	Email	Phone Number	
13 Woodmere Avenue, Rumson, New Jersey 07760		133	8
Property Address		Block	Lot
Same as above			
Name of Owner (IF NOT APPLICANT)			
<i>A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.</i>			
c/o Mark R. Aikins, Esquire, 3350 Route 138, Building 1, Suite 113, Wall, NJ 07719; Telephone: 732-280-2606			
Applicant's Attorney and contact information (if any)			
Anderson Campanella, Architects, 120 East River Road, Rumson, NJ 07760 Telephone: 732-219-0014			
Applicant's Architect and contact information (if any)			
Lindstrom Diessner & Carr, P.C., 136 Drum Point Rd., Suite 6, Brick, NJ 08753 Telephone: 732-477-8900			
Applicant's Engineer and contact information (if any)			
		June 9, 2026	
Signature of Applicant or Agent		Date	
Mark R. Aikins, Attorney for Applicants/Owners			

Proposed plan The Applicants seek to demolish the existing single family residence and construct a new 2 1/2 story single family residence with attached garage, inground pool, pool patio and patio, together with related site improvements.

Variances requested Per attached Notice of Hearing

**PUBLIC NOTICE
BOROUGH OF RUMSON
ZONING BOARD OF ADJUSTMENT**

PLEASE TAKE NOTICE that on **Thursday, _____, 2026 at 7:30 p.m.** at the regular meeting of the Zoning Board of Adjustment, Borough of Rumson, Municipal Building, 80 East River Road, Rumson, New Jersey, or at such time as the Zoning Board of Adjustment may thereafter adjourn, a public meeting will be held with regard to the proposed Application of John DePalma and Leslie DePalma at which time and place all interested persons will be given an opportunity to be heard. The premises are designated in the R-4 Zone, are shown on the Tax Map of the Borough of Rumson as **BLOCK 133, LOT 8 also known as 13 Woodmere Avenue**. The Applicants seek to demolish the existing single family residence and construct a new 2 ½ story single family residence with attached garage, inground swimming pool, pool patio and patio, together with related site improvements.

The Applicants seek the following bulk or "C" variances from *Rumson's Development Regulations Schedules 5 and 22* as follows:

- Interior Lot Shape Circle: 50 feet required, whereas 29.5 feet exists (existing non-conformity condition)
- Rear Yard Setback: 40 feet required, whereas 36.00 feet is proposed to dwelling and 11.4 feet is proposed to retaining wall
- Minimum Rear Yard Setback: 40 feet required, whereas 36.60 feet exists (existing non-conformity condition) and 36.60 feet is proposed
- Maximum Gross Floor Area: 3,500 square feet required, whereas 3,770 square feet is proposed.

In addition, the Applicants seek any and all other variances, waivers and/or relief necessary to approve the Application as proposed or may be modified at the hearing.

The Application may be inspected in the offices of the Secretary of the Zoning Board of Adjustment, Municipal Building, 80 East River Road, Rumson, New Jersey, during regular business hours.

Applicants: **John DePalma and Leslie DePalma**
Attorney: **MARK R. AIKINS, ESQUIRE**
Attorney for Applicants
3350 Route 138, Building 1, Suite 113
Wall, N.J. 07719
Telephone: 732-280-2606

DATE OF PUBLICATION: _____, 2026

RESIDENTIAL R-4 ZONE REQUIREMENTS

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 S.F.	17,957 S.F.	17,957 S.F.
MIN. LOT WIDTH AND FRONTAGE ⁽⁸⁾	75 FT.	175 FT.	175 FT.
MIN. FRONT YARD SETBACK	35 FT.	34.7 FT.*	35.0 FT.
MIN. SIDE YARD SETBACK ⁽²⁾	17 FT.	31.5 FT.	41.0 FT. (DWELLING)
	17 FT.	31.5 FT.	35.3 FT. (RETAINING WALL)
SIDE SETBACK COMBINED ⁽²⁾	48 FT.	92.6 FT.	76.3 FT.
MIN. REAR YARD SETBACK ⁽³⁾	40 FT.	36.6 FT.*	36.0 FT.** (DWELLING)
	40 FT.	36.6 FT.*	11.4 FT. ** (RETAINING WALL)
SHAPE REQUIREMENT	50 FT.	29.5 FT.*	29.5 FT.*
MAX. BUILDING COVERAGE ^{(3) (5)}	2,588.33 S.F.	2,306.6 S.F.	2,535.0 S.F.
MAX. LOT COVERAGE ^{(3) (7)}	5,493.77 S.F.	5,352.9 S.F.	5,484.2 S.F.
MAX. GROSS FLOOR AREA	3,500 S.F.	-	3,770 S.F.**
MAX. GROSS FLOOR AREA RATIO	0.239	-	0.210
MIN. GROSS RESIDENTIAL GROUND FLOOR AREA (2 STORY) ⁽⁸⁾	600 S.F.	-	2,894 S.F.
MAX. BUILDING HEIGHT ⁽⁴⁾			
EAVES	26 FT.	10.2 FT.	23 FT.
HEIGHT	2.5 STORIES	2 STORIES	2.5 STORIES
RIDGE	35 FT.	25.5 FT.	35 FT.
ACCESSORY STRUCTURES			
MIN. ACCESSORY BUILDING SIDE YARD SETBACK	5 FT.	0.8 FT.*	N/A
MIN. ACCESSORY BUILDING REAR YARD SETBACK	5 FT.	3.0 FT.*	N/A
MAX. BUILDING HEIGHT			
STORIES	1	1	N/A
FEET	16 FT.	<16 FT.	N/A
MIN. SETBACK TO PRINCIPAL BUILDING	5 FT.	32.3 FT.	N/A
MAX. BUILDING AREA	500 SF.	95.6 SF.	N/A
MAX. BUILDING AREA % ⁽¹²⁾	40%	4.1%	N/A
POOL SETBACK	10 FT.	N/A	12.6 FT.
POOL PATIO	5 FT.	N/A	10.4 FT.

* DENOTES EXISTING NON-CONFORMANCE

** DENOTES VARIANCE REQUIRED

- THE REQUIRED SIDE AND REAR YARD SETBACKS AND OTHER REQUIREMENTS FOR RESIDENTIAL RECREATION FACILITIES AND RESIDENTIAL SPORTS FACILITIES (WHICH INCLUDES TENNIS AND PADDE TENNIS COURTS ARE SET FORTH IN SUBSECTIONS 22-7.28 AND 22-7.33 AND SCHEDULE 7-1.
- WHERE THE LOT WIDTH EXCEEDS THE MINIMUM PRESCRIBED FOR THE ZONE DISTRICT, THE COMBINED TOTAL SIDE YARD SETBACK SHALL BE INCREASED 1.5 FEET FOR EACH FULL 5 FEET BY WHICH LOT WIDTH EXCEEDS THE MINIMUM. ONE SIDE YARD SHALL BE INCREASED BY AT LEAST 1/3 OF THE ADDITIONAL SETBACK DISTANCE REQUIRED. [18 FT. + (100 / 5) * 1.5 = 48 FT.] [(1/3) * (48 - 18) = 10 + 7 = 17 FT.]
- THAT PORTION OF A ROOFED, OPEN-SIDED PORCH FACING A FRONT YARD, WHICH DOES NOT EXCEED 10% OF THE PRINCIPAL BUILDING GROUND FLOOR AREA, MAY BE EXCLUDED FROM THE CALCULATION OF THE MAXIMUM LOT AND BUILDING COVERAGE FOR A SINGLE-FAMILY RESIDENTIAL DWELLING. THE PORCH MAY BE SCREENED AND INCLUDE PORCH RAILING AND/OR BALUSTRADE AND BELOW THE FLOOR LEVEL, PORCH LATTICE OR OTHER ENCLOSURE AROUND THE FOUNDATION, BUT IT SHALL NOT OTHERWISE BE ENCLOSED. ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM LOT AND/OR BUILDING COVERAGE PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-70C. ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM FLOOR AREA PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-70D.
- NO BUILDING SHALL EXCEED TWO STORIES PLUS A HABITABLE ATTIC OR BASEMENT.
- USABLE LOT AREA 17,957 S.F. - BASIS FOR MAXIMUM BUILDING COVERAGE 2,095 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (7,957 X 0.0620 = 493.33 S.F.) = 2,095 S.F. + 493.3 S.F. = 2,588.3 S.F.
- USABLE LOT AREA 17,657 S.F. - BASIS FOR MAXIMUM LOT COVERAGE 3,970 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (7,957 X 0.1915 = 1523.77 S.F.) = 3,970 S.F. + 1,523.77 = 5,493.77 S.F.
- USABLE LOT AREA 17,957 S.F. - BASIS FOR MAXIMUM PERMITTED FLOOR AREA = 4,295.7 S.F.
- LOT WIDTH AND FRONTAGE MEASURED ALONG FRONT SETBACK LINE.
- ROOFED, OPEN SIDED, ONE-STORY PORCHES MAY BE PERMITTED TO EXTEND UP TO FIVE (5') FEET BEYOND THE FRONT SETBACK IN THE R-4 ZONE DISTRICT.
- IN THE R-4 DISTRICT, THE MINIMUM SIDE YARDS SHALL NOT BE PLACED ADJACENT TO ONE ANOTHER.
- MINIMUM REQUIRED REAR YARD IN THE R-4 ZONE SHALL BE AT LEAST 30% OF THE LOT DEPTH, ROUNDED UP TO THE FULL FOOT, OR 40 FT., WHICHEVER IS GREATER, BUT NOT TO EXCEED 50 FT. (102.6 FT. LOT DEPTH X 30% = 30.8 FT.)
- CALCULATED BASED ON PERCENTAGE OF ENTIRE BUILDING AREA COVERED BY ACCESSORY STRUCTURES.
- MAX. FLOOR AREA RATIO = TOTAL MAX. PERMITTED FLOOR AREA/LOT AREA = 4,295.7 S.F./17,957 S.F. = 0.239

MAXIMUM PERMITTED FLOOR AREA

FACTOR	USABLE LOT AREA (U.L.A.)	FLOOR AREA RATIO PERMITTED	MAX. PERMITTED FLOOR AREA
U.L.A. ≤5,000 S.F.	5,000	(X)0.4	2,000
U.L.A. 5,000:10,000 S.F.	5,000	(X)0.3	1,500
U.L.A. 10,000:70,000 S.F.	7,957	(X)0.1	795.7

TOTAL MAX. PERMITTED FLOOR AREA = 2,000+1,500+795.7 = 4,295.7 S.F.

EXISTING BUILDING COVERAGE	
DWELLING	2,211.0 S.F.
COVERED CONCRETE PORCH	186.1 S.F.
SHED	95.6 S.F.
DEDUCTION FOR PORCH FACING STREET	-186.1 S.F.
TOTAL	2,306.6 S.F.

EXISTING LOT COVERAGE	
BUILDING COVERAGE	2,306.6 S.F.
ASPHALT DRIVEWAY	1,650.7 S.F.
WALLS	31.6 S.F.
PAVER PATIOS	712.3 S.F.
FRONT STEPS	13.8 S.F.
REAR SLATE PAD	16.2 S.F.
RINSE STATION	38.1 S.F.
A/C DECK	23.9 S.F.
CRAWL SPACE COVERS	29.1 S.F.
SLATE PAD	16.2 S.F.
STEPPING STONES	114.0 S.F.
SAUNA	48.2 S.F.
OUTDOOR KITCHEN	45.1
FIREPLACE	44.9
FRONT PAVER WALK	262.2 S.F.
FRONT PAVER WALK 4' WIDE OR LESS	231.3
DEDUCTIONS FOR WALKWAYS 4' WIDE OR LESS	-231.3
TOTAL	5,352.9 S.F.

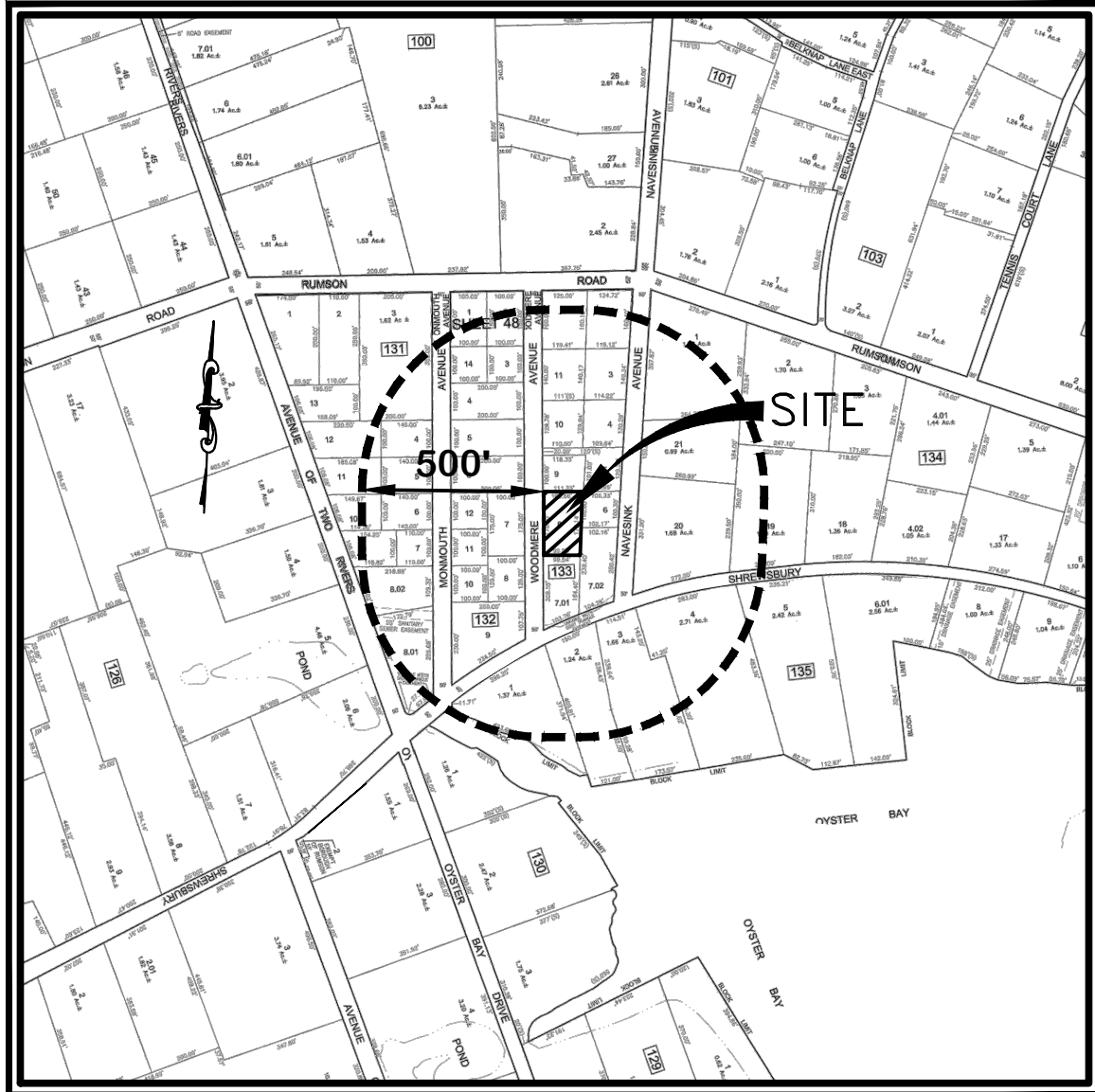
NOTES:

- GROUND FLOOR AREA = 2,016 S.F.
- 10% OF GROUND FLOOR AREA = 201.6 S.F.
- 20% OF GROUND FLOOR AREA = 403.2 S.F.
- 30% OF GROUND FLOOR AREA = 604.8 S.F.

PROPOSED BUILDING COVERAGE	
PRINCIPAL BUILDING ROOF EXTENTS	2,827.0 S.F.
DEDUCTION FOR COVERED PORCH FACING STREET	-80.0 S.F.
DEDUCTION FOR EAVES <12"	-212.0 S.F.
TOTAL	2,535.0 S.F.

*** ROOF OVERHANGS AND PORCHES HAVE BEEN DELETED FROM BUILDING COVERAGE IN ACCORDANCE WITH NOTES 9 & 19 OF SCHEDULE 5-1, SCHEDULE OF ZONING DISTRICT REGULATIONS.

PROPOSED LOT COVERAGE	
BUILDING COVERAGE	2,535.0 S.F.
DRIVEWAY	1314.3 S.F.
FRONT STEPS	52.3 S.F.
REAR STONE PATIO	714.3 S.F.
POOL PATIO	128.0 S.F.
WOOD PATIO AT SUANA	100.0 S.F.
REAR RETAINING WALLS	176.5 S.F.
SUANA	64.0 S.F.
POOL WATER SURFACE	123.6 S.F.
POOL COPING	123.9 S.F.
UTILITY EQUIPMENT PADS & GENERATOR PAD	136.6 S.F.
PERGOLA TERRACE	386.7 S.F.
OUTDOOR SHOWER	32.0 S.F.
SAUNA WALKWAY, 4' WIDE OR LESS	32.0S.F.
FRONT WALKWAY 4' WIDE OR LESS	144.4 S.F.
SIDE WALKWAY 4' WIDE OR LESS	33.4 S.F.
POOL WALKWAY 4' WIDE OR LESS	82.6 S.F.
STEPPING STONES 4' WIDE OR LESS	442.3 S.F.
DEDUCTIONS FOR PATIOS	-403.2 S.F.
DEDUCTIONS FOR WALKWAYS 4' WIDE OR LESS	-734.6 S.F.
	5,484.2 S.F.



KEY MAP

SCALE: 1" = 500'



AERIAL MAP

SCALE: 1" = 500'

PLOT PLAN
FOR

13 WOODMERE AVENUE

LOT 8 BLOCK 133

BOROUGH OF RUMSON, MONMOUTH COUNTY, NJ

SHEET INDEX

SHEET No.	DESCRIPTION	LAST REVISION	REV. No.
1	COVER SHEET & GENERAL NOTES	5/27/26	1
2	EXISTING CONDITIONS PLAN	-	-
3	SITE PLAN & GRADING & UTILITIES PLAN	5/27/26	1

GENERAL NOTES:

- PROPERTY BEING KNOWN AS LOT 8 IN BLOCK 133 ON THE OFFICIAL TAX MAP SHEET 48 OF THE BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.
- BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOT 8 BLOCK 133", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., DATED 3/25/2025, ERROR OF CLOSURE MIN. 1:15,000.
- PROPERTY IS LOCATED IN THE R-4 ZONE.
- TOTAL AREA OF TRACT: 17,957 S.F. (0.412 AC.)
- OWNER/APPLICANT: JOHN CONNOR DEPALMA & LESLIE DEPALMA
13 WOODMERE AVENUE
RUMSON, NJ 07760
- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONE AE (EL 8) & FLOOD ZONE X 0.2% ANNUAL CHANCE FLOOD HAZARD, COMMUNITY NUMBER 345316 MAP NUMBER 34025C0201H, EFFECTIVE DATE JUNE 15, 2022.
- HORIZONTAL DATUM BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 1983. MAIN BEARINGS SHOWN ARE IN NAD 83 DATUM UNLESS STATED OTHERWISE.
- UTILITIES ARE EXISTING AND SHALL BE CONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION. ALL UTILITIES MUST BE INSTALLED UNDERGROUND.
- ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
- ROOF LEADERS SHALL BE DIRECTED TOWARDS THE STREET AND/OR REAR YARD AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES.
- PROPERTY CORNERS HAVE BEEN LOCATED AS SHOWN.
- ALL NOTES AND REFERENCES CONTAINED IN THE ABOVE REFERENCED SURVEY MAP REMAIN IN EFFECT.
- FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS PREPARED BY ANDERSON CAMPANELLA ARCHITECTS.
- ADJACENT FEATURES SHALL NOT BE SCALED AS THEY MAY BE SCHEMATIC.
- POOL EQUIPMENT TO BE SCREENED FROM VIEW OF ADJACENT PROPERTIES IN ACCORDANCE WITH 22-7.25 OF THE BOROUGH CODE.
- THESE GENERAL NOTES APPLY TO ALL SHEETS ON THE SET.

1	5/27/26	REVISED PER ZONING DENIAL	CC
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 2468024773900 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300		PLOT PLAN COVER SHEET & GENERAL NOTES 13 WOODMERE AVENUE LOT 8 BLOCK 133 BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY	
DRAWN BY:	SCALE:	DATE:	SHEET:
CC	AS NOTED	3/12/2026	1 OF 3
PROJECT:		25024	

c:\projects\cadd\2023\25024\13024.dwg, Rumson, NJ, 2/16/2024 - 4:00pm

REFERENCES USED:

- SURVEY PREPARED BY CHARLES SURMONTE P.E. & P.L.S.
- DEED BOOK 5316, PAGE 834
- DEED BOOK 9234, PAGE 8223

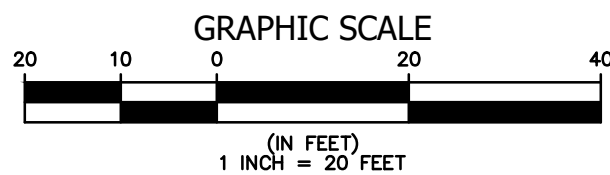
PROPERTY DESCRIPTION:

BEING KNOWN AS LOT 8 IN BLOCK 133 AS DESCRIBED IN DEED BOOK 9234, PAGE 8223.

ALSO BEING KNOWN AS LOT 8 IN BLOCK 133 ON THE OFFICIAL TAX MAP SHEET 48 OF BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.

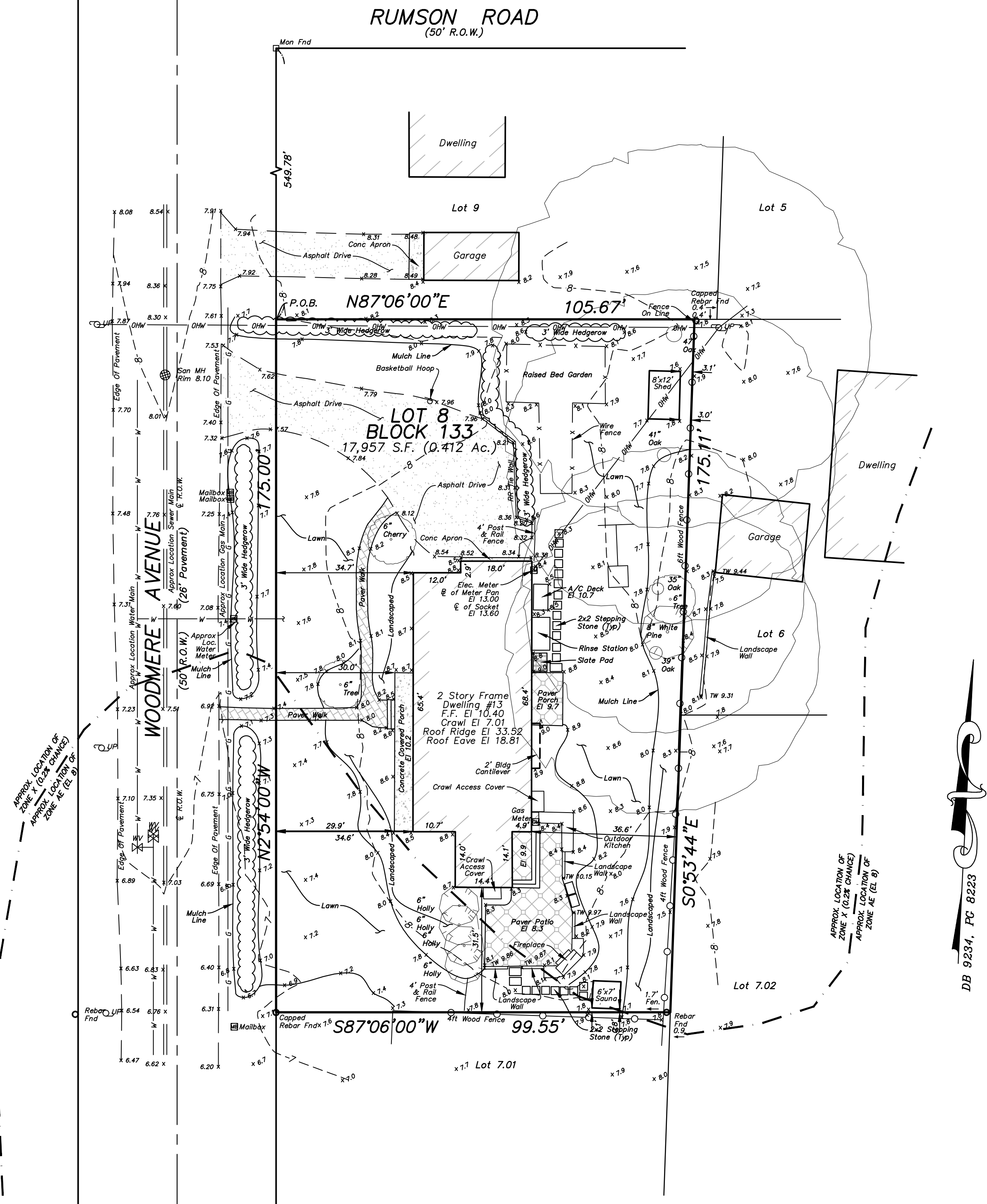
NOTES:

- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONE AE (EL B) & FLOOD ZONE X 0.2% ANNUAL CHANCE FLOOD HAZARD, COMMUNITY NUMBER 345316 MAP NUMBER 34025C0201H, EFFECTIVE DATE JUNE 15, 2022.
- PROPERTY CORNERS TO BE SET AT LATER DATE.



EXISTING LEGEND

--- 106 ---	CONTOUR
x 14.8	SPOT GRADE
[Symbol]	'B' INLET
[Symbol]	'A' INLET
[Symbol]	'E' INLET
[Symbol]	YARD INLET
[Symbol]	HEADWALL
[Symbol]	DRAINAGE PIPE
[Symbol]	MANHOLE
[Symbol]	SEWER MAIN
[Symbol]	SEWER LATERAL
[Symbol]	SEWER CLEANOUT
[Symbol]	UTILITY POLE
[Symbol]	OVERHEAD WIRE
[Symbol]	GAS LINE
[Symbol]	WATER LINE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	CURB BOX
[Symbol]	GUY WIRE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	CURB
[Symbol]	WALL
[Symbol]	TREE LINE
[Symbol]	CAPPED REBAR
[Symbol]	CONCRETE MONUMENT
[Symbol]	SOIL BORING LOCATION
[Symbol]	TEST PIT LOCATION



NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026 • info@LDCpc.com			
CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 246302473900 PROFESSIONAL PLANNER N.J. LIC. NO. 330100233300			
EXISTING CONDITIONS PLAN LOT 8 BLOCK 133 13 WOODMERE AVENUE BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY			
DRAWN BY:	SCALE:	DATE:	SHEET:
CC	1" = 20'	3/12/2026	2 OF 3
PROJECT:		25024	



GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FEET



GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FEET

CONTOUR

SLOT GRADE
● TO 87 20
P 96 70

NYLONPLAST DRAIN
●

INSPECTION PORT
⊙

ROOF DRAIN
⊙

YARD INLET
■

DRAINAGE PIPE
— — — — —

SANITARY MAIN
—————

SANITARY LATERAL
—— RS ——

SANITARY CLEANOUT
●
●

UTILITY POLE
○ ●

ELECTRIC LINE
———— E ————

OVERHEAD WIRE
———— OHW ————

GAS LINE
———— G ————

WATER LINE
———— W ————

CURB BOX

WATER METER PIT

TREE LINE

CURB LINE
=====

CONTOUR		-105
SPOT GRADE		X 14.8
'B' INLET		
'A' INLET		
'E' INLET		
YARD INLET		
HEADWALL		
DRAINAGE PIPE		
SAN. MANHOLE		
SEWER MAIN		
SEWER LATERAL		
SEWER CLEANOUT		
UTILITY POLE		
OVERHEAD WIRE		OHW
GAS LINE		
WATER LINE		W
FIRE HYDRANT		
WATER VALVE		
CURB BOX		
GUY WIRE		
EDGE OF PAVEMENT		
CURB		
WALL		
TREE LINE		
CAPPED REBAR		

1	5/27/26	REVISED PER ZONING DENIAL	CC
NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.

ENGINEERING ♦ SURVEYING ♦ PLANNING

136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026

CHARLES E. LINDSTROM
 PROFESSIONAL ENGINEER N.J. LIC. NO. 2463024723900
 PROFESSIONAL PLANNER N.J. LIC. NO. 33000235300

PLOT PLAN

SITE PLAN & GRADING & UTILITIES PLAN

13 WOODMERE AVENUE

LOT 8 BLOCK 133

BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY

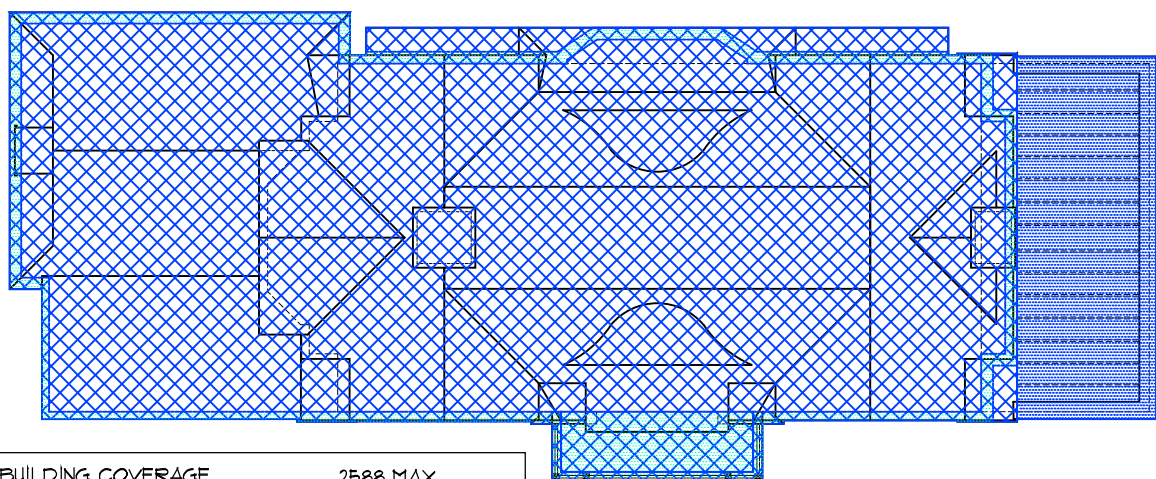
DRAWN BY:	SCALE:	DATE:	SHEET:	PROJECT:
CC	1" = 20'	3/12/2026	3 OF 3	25024

NEW RESIDENCE FOR JOHN & LESLIE DEPALMA

13 WOODMERE AVENUE, LOT 8, BLOCK 133
RUMSON, NEW JERSEY

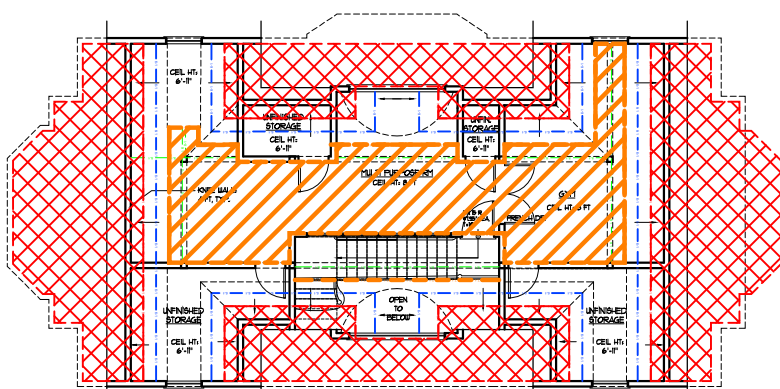
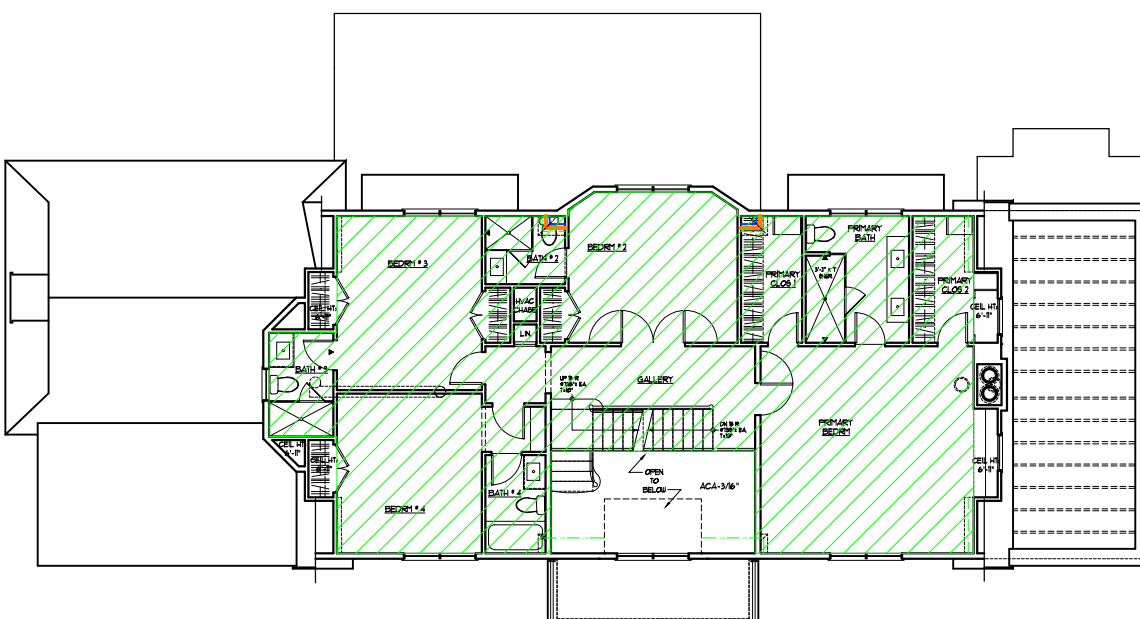
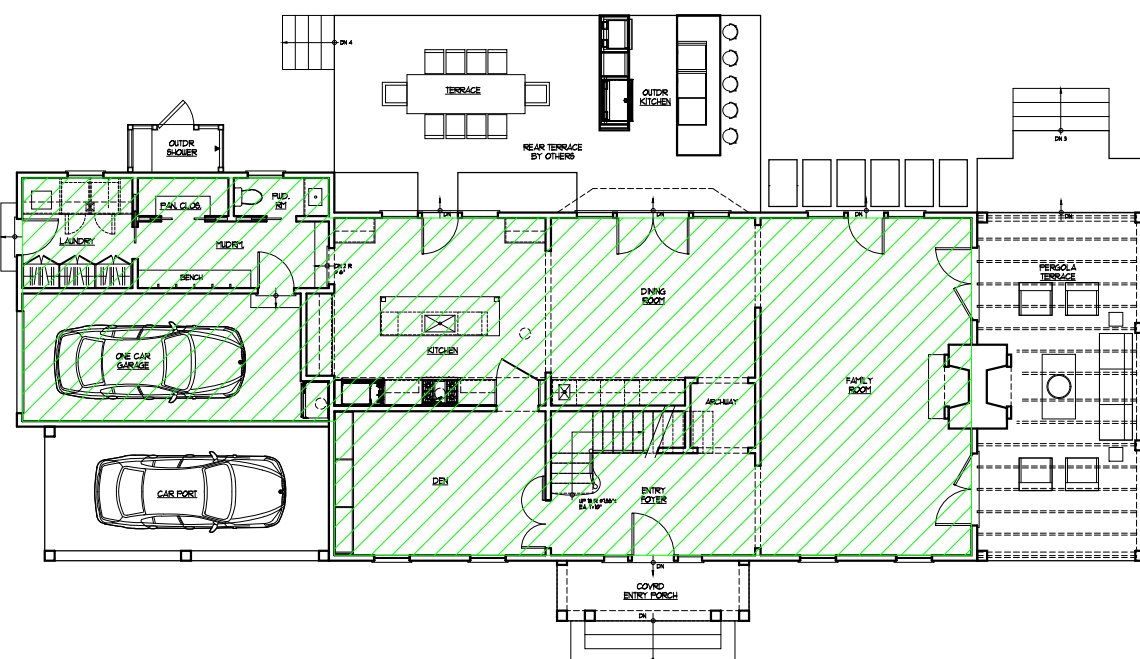


BUILDING COVERAGE DIAGRAM



BUILDING COVERAGE	2588 MAX
ROOF EXTENT	2,827 SF
DEDUCTIONS: SCHEDULE 5-1, NOTES 9 & 19	
ROOF OVERHANGS UP TO 12"	- 212 SF
PORCH FACING FRONT (STREET) - 80' SF	
TOTAL	2535 SF
NOTE: PRINCIPAL BUILD, GROUND FLOOR AREA = 2016 SF 10% OF 2016 = 201 SF MAX EXEMPTION FOR FRONT PORCH PERGOLA TERRACE = 335 SF (EXEMPT, SCHEDULE 5-1 NOTE 19)	

FLOOR AREA DIAGRAMS



ZONING FLOOR AREA: 3500 SF MAX (3,150 SF)	
FIRST FLOOR	2,016 SF
SECOND FLOOR	1,419 SF
ATTIC FLOOR	335 SF
TOTAL	3,770 SF

STORY, HALF
SHALL MEAN THAT PORTION OF A BUILDING UNDER A
GABLE HIP OR GAMBREL ROOF THE WALL PLATES OF
WHICH ON AT LEAST TWO OPPOSITE EXTERIOR WALLS ARE
NOT MORE THAN TWO (2) FEET ABOVE
THE FLOOR OF SUCH HALF-STORY. ADDITIONALLY, THE
FLOOR AREA UNDER A SLOPING ROOF IN WHICH THE
CEILING HEIGHT IS FIVE (5) FEET OR LESS SHALL NOT
OCCUPY LESS THAN 40% OF THE TOTAL FLOOR AREA
DIRECTLY BENEATH IT. A BASEMENT AND/OR HABITABLE
ATTIC SHALL ALSO BE INCLUDED AS A HALF-STORY.

40% OF SECOND FLOOR
(1419 x 0.40) = 567.6 (MIN)
567.6 SF (MIN)

AREA BELOW 5'-0"
CEILING HT

712 SF (COMPLIANT)
(54.4 %)

ATTIC, HABITABLE
SHALL MEAN AN ATTIC WHICH HAS AN APPROVED
STAIRWAY AS A MEANS OF ACCESS AND EGRESS AND IN
WHICH THE CEILING AREA IS AT A MINIMUM HEIGHT OF
SEVEN FEET ABOVE THE ATTIC FLOOR, COMPLIES WITH THE
MINIMUM AREA OF A HABITABLE ROOM, AND IS NOT MORE
THAN 1/3 THE AREA OF THE NEXT FLOOR BELOW WHICH IS
IN ACCORDANCE WITH THE ADOPTED MODEL CODE FOR
THE STATE OF NEW JERSEY. HABITABLE ATTICS SHALL BE
CONSIDERED A HALF STORY AND ALL FINISHED ATTIC
SPACE WITH A CEILING HEIGHT OF SEVEN FEET OR
GREATER SHALL BE COUNTED IN TOTAL FLOOR AREA.

SECOND FLOOR AREA: 1419 SF
1/3 OF 1419 SF = 473 SF MAX

PROPOSED ATTIC FINISH
FLOOR AREA = 335 SF (COMPLIANT)
FLOOR AREA = 7'-0"

ZONING & CODE INFORMATION

ADDRESS: LOT: BLOCK: ZONE:	13 WOODMERE, RUMSON, NJ 8 133 R-4
-------------------------------------	--

	REQUIRED	EXISTING	PROPOSED	REMARKS
MIN. LOT AREA	AC: 10,000 SF	AC, USABLE AREA: 11951 ± SF	UNCHANGED	
MIN. LOT FRONTAGE	175 FT	175 FT	UNCHANGED	
MIN. LOT WIDTH	175 FT	175 FT	UNCHANGED	
INTERIOR LOT SHAPE CIRCLE	50 FT	29.4 FT ±	UNCHANGED	EXIST. NON-CONFORMITY

PRINCIPAL STRUCTURE				
FRONT YARD SETBACK	35 FT	34.60 FT	35.00 FT	EXIST. NON-CONFI RMITY REMOVED
MIN. SIDE YARD SETBACK				
ONE SIDE	17.0 FT	31.50 FT	31.60 FT	INCREASED SIDE YARD FOR LOT WIDTH
TOTAL BOTH SIDES	48.0 FT	92.50 FT	81.00 FT	
REAR YARD	40.0 FT	36.60 FT	35.10 FT	EXIST. 4 NEW NON-CONFORMITY
BUILDING HEIGHT - STORIES	2 1/2	2	2.5	
BUILDING HEIGHT - RIDGE	35 FT	25.02 FT	33.00 FT	
BUILDING HEIGHT - EAVES	26 FT	10.30 FT	22.50 FT	

ACCESSORY STRUCTURE - TERRACE				
MIN. SIDE YARD SETBACK	5 FT		40.00 FT	
MIN. REAR YARD SETBACK	5 FT		22.90 FT	

MAXIMUM ALLOTMENTS				
	REQUIRED	EXISTING	PROPOSED	
MAX. BUILDING COVERAGE	2588 SF		2535 SF	
MAX. LOT COVERAGE	5,493 SF			SEE LANDSCAPE PLAN BY OTHERS
MAX. FLOOR AREA	3500 SF		3,770 SF	* VARIANCE REQUIRED
F.A.R. LABEL	4295 SF			
PRINCIPAL RESIDENCE				
FIRST FLOOR			2,016 SF	
SECOND FLOOR			1,419 SF	
HABITABLE ATTIC			335 SF	
TOTAL			3,770 SF	
FLOOR AREA RATIO	0.2290		0.2095	

NOTES:
1. THE SITE INFORMATION IS BASED ON BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY: INDYSTORY, DIEBONER & CARR P.C.
SURVEY DATE: 3/25/2025 : PROJ. NO. 25024

DWG. NO.	DRAWING DESCRIPTION
ARCHITECTURAL DRAWINGS	
1	A001 PROJECT INFORMATION
2	A101 FIRST FLOOR PLAN
3	A102 SECOND FLOOR PLAN
4	A103 ATTIC FLOOR PLAN
5	A104 ROOF PLAN
6	A201 EXTERIOR ELEVATIONS
7	A202 EXTERIOR ELEVATIONS

1 ZONING RESUBMISSION 5/21/26

ZONING SUBMISSION 3/11/26

NO. REVISIONS / ISSUES DATE

ANDERSON
CAMPANELLA
AC
120 EAST
RIVER ROAD
RUMSON NJ
07760
TEL: 732-219-0014
FAX: 732-219-0106

JAMES C. ANDERSON
N.J. LIC. AI 11931
FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

James Anderson

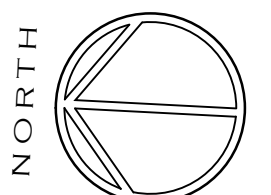
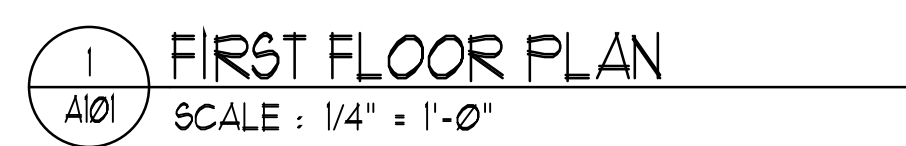
PROJECT:
NEW RESIDENCE FOR
JOHN & LESLIE DEPALMA
13 WOODMERE AVE
LOT 8, BLOCK 133
RUMSON, NEW JERSEY

SHEET TITLE:
PROJECT INFORMATION

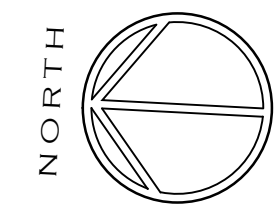
SCALE: JOB NO.:
AS NOTED 2508

DRAWN: SHEET NO.:
VRP

CHKD: A001

CHKD: **A101**

A101

[illegible]

A N D E R S O N
 C A M P A N E L L A

 1 2 0 E A S T
 R I V E R R O A D
 R U M S O N N J
 0 7 7 6 0
 TEL: 732-219-0014
 FAX: 732-219-0108

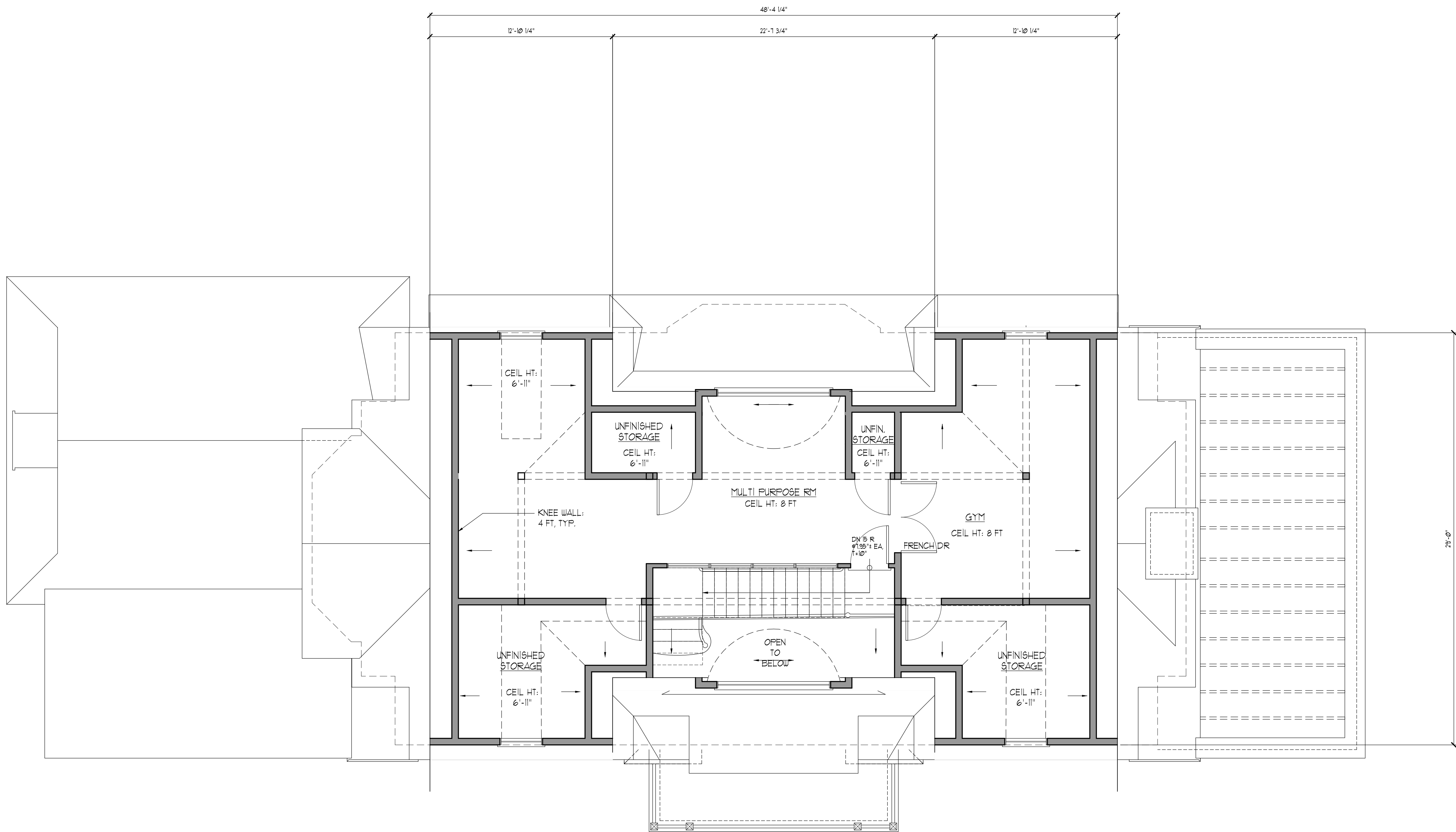


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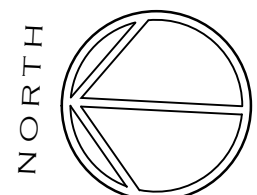
SECOND FLOOR PLAN

SCALE:	JOB NO.:
As NOTED	2508
DRAWN:	SHEET NO.:
VRP	
CHKD:	A 103

A102



1 ATTIC FLOOR PLAN
A103 SCALE : 1/4" = 1'-0"



1	ZONING RESUBMISSION	5/21/26
	ZONING SUBMISSION	3/11/26

NO.	REVISIONS / ISSUES	DATE
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ANDERSON
CAMPANELLA
AC
120 EAST
RIVER ROAD
RUMSON NJ
07760
TEL: 732-219-0014
FAX: 732-219-0106

JAMES C. ANDERSON
N.J. LIC. AI 11931
FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

James Anderson

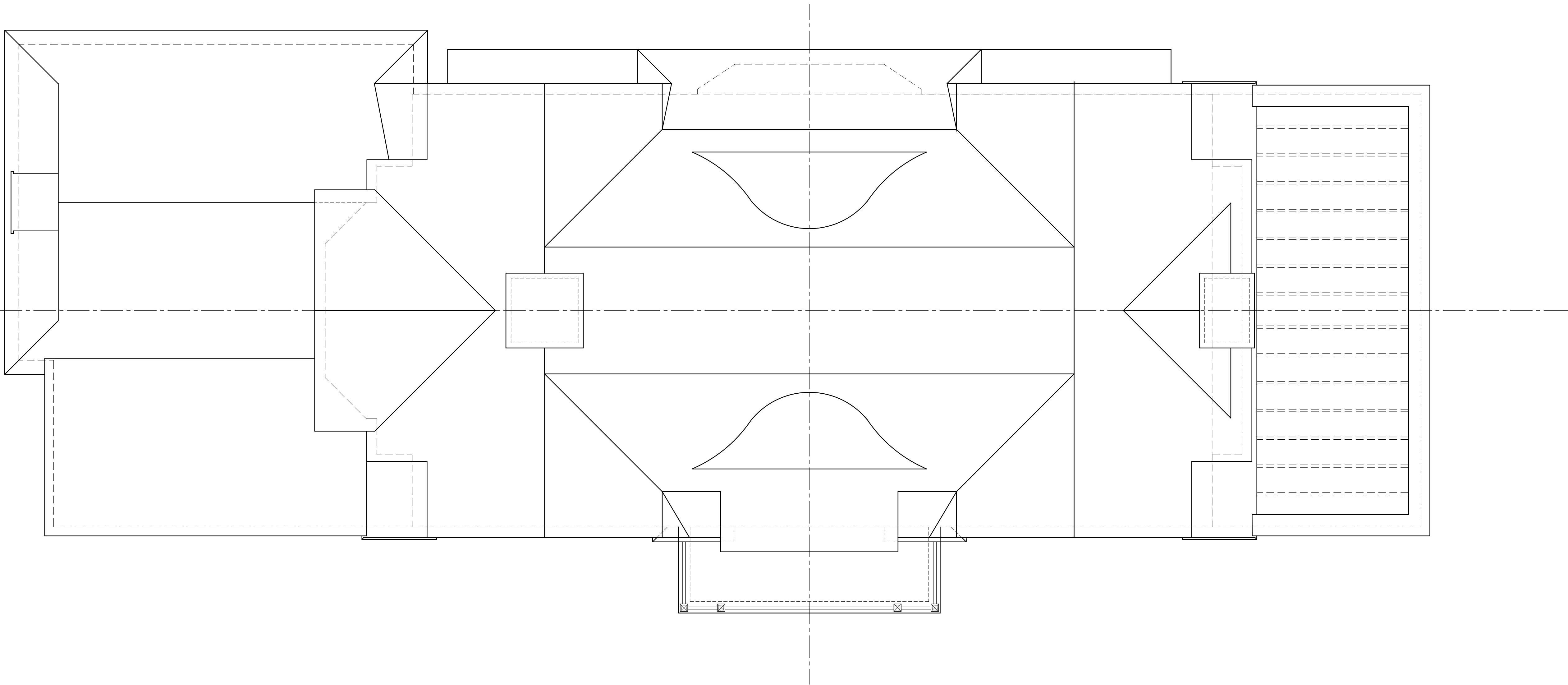
PROJECT:
NEW RESIDENCE FOR
JOHN & LESLIE DEPALMA
13 WOODMERE AVE
LOT 8, BLOCK 133
RUMSON, NEW JERSEY

SHEET TITLE:
ATTIC FLOOR PLAN

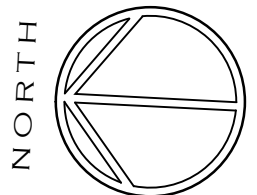
SCALE: AS NOTED JOB NO.: 2508

DRAWN: VRP SHEET NO.:

CHKD: A103



1 ROOF PLAN
A104 SCALE : 1/4" = 1'-0"



1	ZONING RESUBMISSION	5/21/26
	ZONING SUBMISSION	3/5/26

NO.	REVISIONS / ISSUES	DATE
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ANDERSON
CAMPANELLA
AC
120 EAST
RIVER ROAD
RUMSON NJ
07760
TEL: 732-219-0014
FAX: 732-219-0106

JAMES C. ANDERSON
N.J. LIC. AI 11931
FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

James Anderson

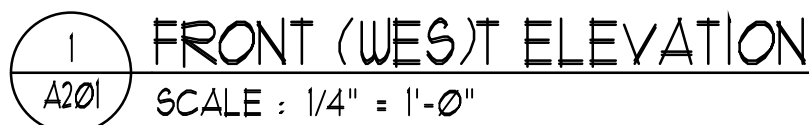
PROJECT:
NEW RESIDENCE FOR
JOHN & LESLIE DEPALMA
13 WOODMERE AVE
LOT 8, BLOCK 133
RUMSON, NEW JERSEY

SHEET TITLE:
ROOF PLAN

SCALE: JOB NO.:
AS NOTED 2508

DRAWN: SHEET NO.:
VRP

CHKD: A104



1	ZONING RESUBMISSION	5/21/26
	ZONING SUBMISSION	3/11/26

A N D E R S O N
 C A M P A N E L L A

 1 2 0 E A S T
 R I V E R R O A D
 R U M S O N N J
 0 7 7 6 0

L: 732-219-0014
 W: 732-219-0100

JAMES C. ANDERSON
M.D., M.A., M.P.H.

N.J. Lic. AI 11931

CIA J. CAMPANELLA
N. LUG. AL 11797

Jan. Anderson

PROJECT:
NEW RESIDENCE FOR
JOHN & LESLIE DEPALMA
13 WOODMERE AVE
LOT 8, BLOCK 133
RUMSON, NEW JERSEY

SHEET TITLE:

EXTERIOR ELEVATIONS

SCALE:	JOB No.:
AS NOTED	2508

DRAWN:	SHEET No.:
VRP	

CHKD: **A201**

A201



1 REAR (EAST) ELEVATION
SCALE : 1/4" = 1'-0"

MAX. ALLOWABLE RIDGE HEIGHT
EL. = + 43.5 FT (NAVD 1988)

ATTIC FLOOR
T.O. SUBFLOOR
EL. = 9'-5 1/2" ASF

SECOND FLOOR
T.O. SUBFLOOR
EL. = 11'-4" ASF

FIRST FLOOR
T.O. SUBFLOOR
EL. = 0'-0" (+ 11.5 FT NAVD 1988)

EXISTING GRADE
RUMSON BULD. HT. REFERENCE
EL. = + 8.5 FT (NAVD 1988)

CRAWL SPACE
T.O. CONCRETE SLAB
EL. = - 4'-3" ASF
EL. = + 1.25 FT (NAVD 1988)



2 NORTH ELEVATION
SCALE : 1/4" = 1'-0"

MAX. ALLOWABLE RIDGE HEIGHT
EL. = + 43.5 FT (NAVD 1988)

ATTIC FLOOR
T.O. SUBFLOOR
EL. = 9'-5 1/2" ASF

SECOND FLOOR
T.O. SUBFLOOR
EL. = 11'-4" ASF

FIRST FLOOR
T.O. SUBFLOOR
EL. = 0'-0" (+ 11.5 FT NAVD 1988)

EXISTING GRADE
RUMSON BULD. HT. REFERENCE
EL. = + 8.5 FT (NAVD 1988)

CRAWL SPACE
T.O. CONCRETE SLAB
EL. = - 4'-3" ASF
EL. = + 1.25 FT (NAVD 1988)

NO.	REVISIONS / ISSUES	DATE
1	ZONING RESUBMISSION	5/21/26
	ZONING SUBMISSION	3/11/26

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120 EAST
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TEL: 732-219-0014
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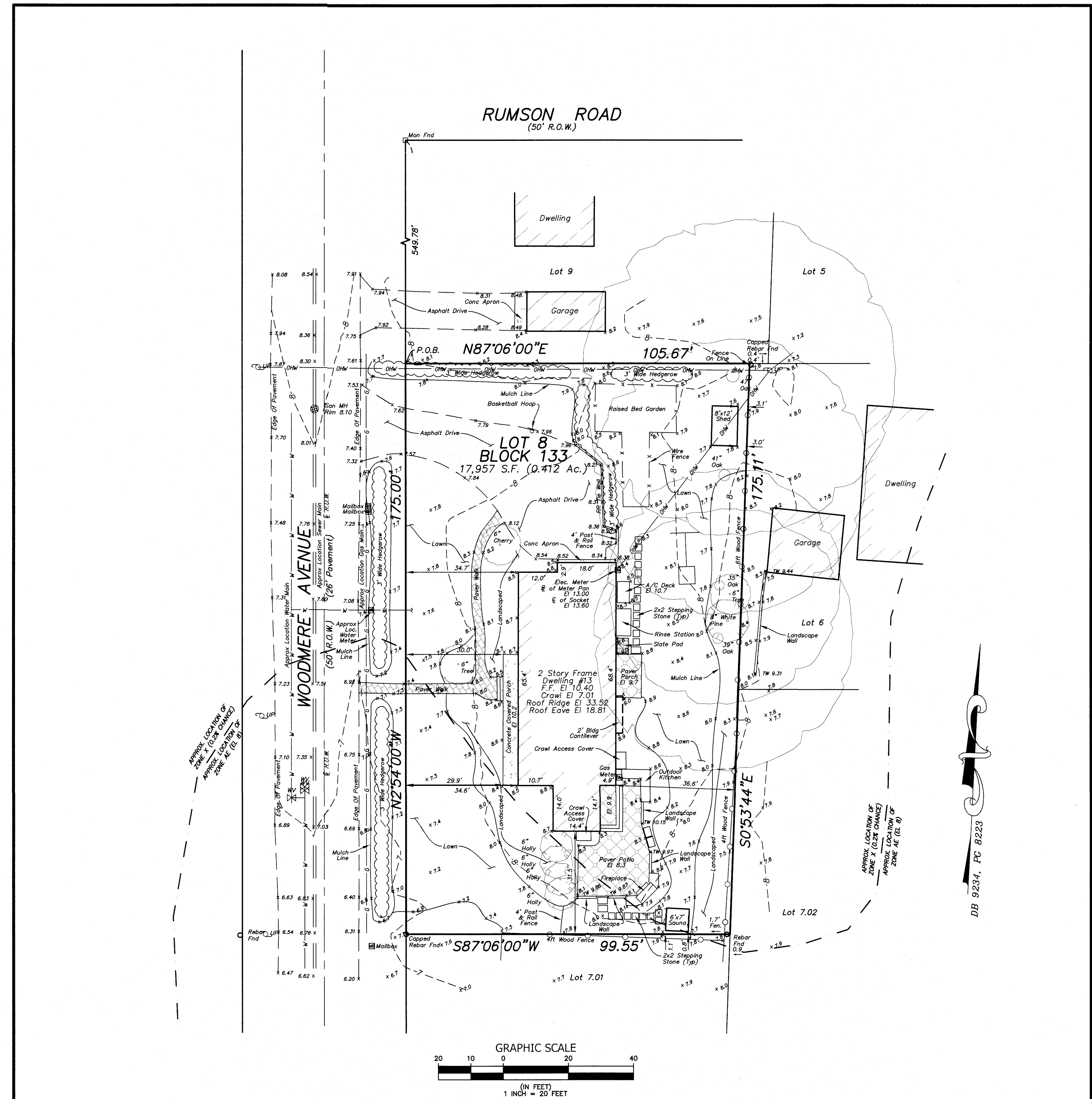
PROJECT:
NEW RESIDENCE FOR
JOHN & LESLIE DEPALMA
13 WOODMERE AVE
LOT 8, BLOCK 133
RUMSON, NEW JERSEY

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED JOB NO.: 2508

DRAWN: VRP SHEET NO.:

CHKD: A202



DB 9234, PG 8223

REFERENCES USED:

- SURVEY PREPARED BY CHARLES SURMONTE P.E. & P.L.S.
- DEED BOOK 5316, PAGE 834
- DEED BOOK 9234, PAGE 8223

PROPERTY DESCRIPTION:

BEING KNOWN AS LOT 8 IN BLOCK 113 AS DESCRIBED IN DEED BOOK 9234, PAGE 8223.

ALSO BEING KNOWN AS LOT 8 IN BLOCK 133 ON THE OFFICIAL TAX MAP SHEET 48 OF BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.

NOTES:

- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONE AE (EL 8) & FLOOD ZONE X 0.2% ANNUAL CHANCE FLOOD HAZARD, COMMUNITY NUMBER 345316 MAP NUMBER 34025C0201H, EFFECTIVE DATE JUNE 15, 2022.
- PROPERTY CORNERS TO BE SET AT LATER DATE.

OFFSET DIMENSIONS FROM BUILDINGS AND FENCES AS SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. ENVIRONMENTALLY SENSITIVE AREAS AND HAZARDOUS WASTE SITES, IF ANY, ARE NOT LOCATED BY THIS SURVEY. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N.J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. NO LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR FOR THE USE OF THIS SURVEY BY ANY PARTY NOT SHOWN ON THE CERTIFICATIONS HEREON, OR FOR THE USE OF SURVEY WITH SURVEY AFFIDAVIT. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
WILLIAM H. DOOLITTLE PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 246503624000			
BOUNDARY & TOPOGRAPHIC SURVEY LOT 8 BLOCK 133 BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY			
DRAWN BY:	SCALE:	DATE:	SHEET:
JSM	1"=20'	3/25/2025	1 OF 1
PROJECT:		25024	