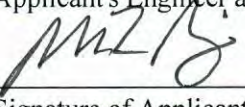




Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

C. Daniel & Sarah Haaren	c/o maikins@aikinslaw.com	c/o 732-280-2606	
Name of Applicant	Email	Phone Number	
12 Edwards Point Road		124	6
Property Address		Block	Lot
Same as above			
Name of Owner (IF NOT APPLICANT)			
<i>A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.</i>			
c/o Mark R. Aikins, Esquire, 3350 Route 138, Building 1, Suite 113, Wall, NJ 07719; Telephone: 732-280-2606			
Applicant's Attorney and contact information (if any)			
Anderson & Campanella, Architects, 120 East River Road, Rumson, NJ 07760; Telephone: 732-796-4254			
Applicant's Architect and contact information (if any)			
Lindstrom, Diessner & Carr, P.C., 136 Drum Point Road, Suite 6, Brick, NJ 08723; Telephone: 732-477-8900			
Applicant's Engineer and contact information (if any)			
		July 21, 2025	
Signature of Applicant or Agent		Date	
Mark R. Aikins, Attorney for Applicants/Owners			
<i>Proposed plan</i>	Applicants seek to construct a new two and a half story dwelling with attached garage, grading revisions, outdoor kitchen, inground pool and patio.		
<i>Variances requested</i>	PLEASE SEE ADDENDUM ATTACHED HERETO & MADE A PART HEREOF		

ADDENDUM TO APPLICATION
BLOCK 124, LOT 6 (12 EDWARDS POINT ROAD)
HAAREN APPLICATION
BOROUGH OF RUMSON

Applicants seek to construct a new two and a half story dwelling with attached garage, grading revisions, outdoor kitchen, inground pool and patio.

Applicant seeks the following variances from *Rumson's Development Regulations*. The Applicants seek the following variances from *Rumson's Development Regulations Schedule 5* as follows:

Minimum Lot Area:	1.5 acre required, whereas 1.362 acres exists (existing non-conformity condition)
Minimum Front Yard Setback:	100 feet required, whereas 56.2 feet exists (existing non conformity condition) and 51.4 feet is proposed
Shape Requirement:	115 feet required, whereas 86.55 feet exists (existing non-conformity condition) exists.
Pool Patio Setback:	25 feet required, whereas 31.5 feet exists and 19.0 feet

PUBLIC NOTICE
BOROUGH OF RUMSON
PLANNING/ZONING BOARD OF ADJUSTMENT

PLEASE TAKE NOTICE that on **THURSDAY, AUGUST 28, 2025 at 7:30 p.m.** at the regular meeting of the Zoning Board of Adjustment, Borough of Rumson, Municipal Building, 80 East River Road, Rumson, New Jersey, or at such time as the Zoning Board of Adjustment may thereafter adjourn, a public meeting will be held with regard to the proposed Application of **C. DANIEL HAAREN and SUSAN HAAREN** at which time and place all interested persons will be given an opportunity to be heard. The premises are designated in the R-1 Zone, are shown on the Tax Map of the Borough of Rumson as **BLOCK 124, LOT 6 with a street address of 12 Edwards Point Road.** The Applicants seek to construct a new two and a half story dwelling with attached garage, grading revisions, outdoor kitchen, inground pool and patio, together with related site improvements.

The Applicants seek the following variances from *Rumson's Development Regulations Schedule 5* as follows:

Minimum Lot Area:	1.5 acres required, whereas 1.362 acres exists (existing non-conformity condition)
Minimum Front Yard Setback:	100 feet required, whereas 56.2 feet exists (existing non conformity condition) and 51.4 feet is proposed.
Shape Requirement:	115 feet required, whereas 86.55 feet exists (existing non-conformity condition) exists.
Pool Patio Setback:	25 feet required, whereas 31.5 feet exists and 19.0 feet is proposed.

In addition, the Applicants seek any and all other variances, waivers and/or relief necessary to approve the Application as proposed and may be modified at the hearing.

The Application may be inspected in the offices of the Secretary of the Zoning Board of Adjustment, Municipal Building, 80 East River Road, Rumson, New Jersey, during regular business hours.

Applicants:	C. Daniel Haaren and Susan Haaren
Attorney for Applicant:	MARK R. AIKINS, ESQUIRE 3350 Route 138, Building 1, Suite 113, Wall, N.J. 07719 Telephone: 732-280-2606

DATE OF PUBLICATION: AUGUST 15, 2025



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: July 14, 2025, *updated July 21, 2025*

Applicant: C. Daniel & Sarah Haaren
Address: 12 Edwards Point Road, Rumson, NJ 07760
Block 124, Lot 6, Zone: R-1

I have reviewed the Land Use & Development Permit application for construction of a new two and a half story dwelling with attached garage, grading revision, outdoor kitchen, in-ground pool and patio.

Was **denied** for the following non-conformities:

Borough of Rumson Ordinances/Development Regulations

- (Schedule 5-1) Proposed front yard setback of 51.4' whereas 100' is required.
- Building height must be from the lowest original lot grade or any revised lot grade shown on a plot plan approved by the Zoning Board of Adjustment.

As part of this review, I offer the following additional comments:

- A preliminary grading plan review from the Borough Engineer should be included for the Zoning Board to review.

Supporting documents to the application include:

- Topo & Wetland Delineation Survey prepared by Lindstrom, Diessner & Carr, P.C., dated February 19, 2025.
- Architectural Plans prepared by Anderson Campanella, dated June 19, 2025 for Zoning Submission, rev (July 15, 2025, consisting of eight (8) sheets.
- Plot Plans prepared by Lindstrom, Diessner & Carr, P.C., dated June 23, 2025, no revisions, consisting of three (3) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant



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BOROUGH HALL
80 East River Road
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rumsonnj.gov

Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: July 14, 2025

Applicant: C. Daniel & Sarah Haaren
Address: 12 Edwards Point Road, Rumson, NJ 07760
Block 124, Lot 6, Zone: R-1

I have reviewed the Land Use & Development Permit application for construction of a new two and a half story dwelling with attached garage, grading revision, outdoor kitchen, in-ground pool and patio.

Was **denied** for the following non-conformities:

Borough of Rumson Ordinances/Development Regulations

- (Schedule 5-1) Proposed front yard setback of 51.4' whereas 100' is required.
- Building height must be from the lowest original lot grade or any revised lot grade shown on a plot plan approved by the Zoning Board of Adjustment.

As part of this review, I offer the following additional comments:

- The lot frontage is measured at the street (per definition).
- The pool patio setback is 15', therefore, no variance is needed.
- Although the rear pergolas are eligible for building coverage credit, the deck below them is required to be included in the lot coverage (no double credit).
- The balcony above the front porch makes it ineligible for front porch credit.
- I don't believe the intent of the two-and-a-half story dwelling is being met. If the second floor of the main building (wings excluded) is 2,318 sf, then no more than 1,390 sf (60%) shall be more than 5' above the attic floor, of which on at least two opposite exterior walls are not more than two feet above the floor of such half-story. The amount of dormers dominates and makes the residence appear as a 3 story dwelling. The reduced front yard setback accentuates this.
- Likewise, the habitable attic space is related to the floor area directly below it. Since neither side wing of the dwelling has upper levels, the permitted habitable area in the attic is based on the main portion of the building only.
- A preliminary grading plan review from the Borough Engineer should be included for the Zoning Board to review.

Supporting documents to the application include:

- Topo & Wetland Delineation Survey prepared by Lindstrom, Diessner & Carr, P.C., dated February 19, 2025.
- Architectural Plans prepared by Anderson Campanella, dated June 19, 2025 for Zoning Submission, consisting of eight (8) sheets.
- Plot Plans prepared by Lindstrom, Diessner & Carr, P.C., dated June 23, 2025, no revisions, consisting of three (3) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant

Marie DeSoucey

From: Vishakha Paralkar <vparalkar@andersoncampanella.com>
Sent: Monday, July 14, 2025 12:06 PM
To: Marie DeSoucey
Cc: James Anderson
Subject: [EXTERNAL]RE: 12 Edwards Point Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Marie,

As per our telephone conversation Friday evening,
Please find below the responses to the questions

1. As per the Site Engineer, Patios under the pergolas were included in the calculations for the Lot Coverage.
2. The Front Porch Balcony roof is decorative with no access from the second floor.
3. The maximum requirement Habitable Attic calculation will be revised to 1/3 of the Second-Floor area directly beneath the Attic floor (1/3 of 2318 sf = 772 sf.) The new proposed Finished Attic Floor Area @ 7'-0' above the Attic floor = 772 sf shall comply. Drawings and Calculations will be modified to reflect this change.
4. (As per the email): FAR revised to $8004 / 59,344 \text{ sf}$ (Total Lot Area) = Max Permitted FAR = 0.135. Proposed FAR = $0.124 (7,357 / 59,344 \text{ sf})$

Please let us know if you have any more questions.

Thanks
Vishakha

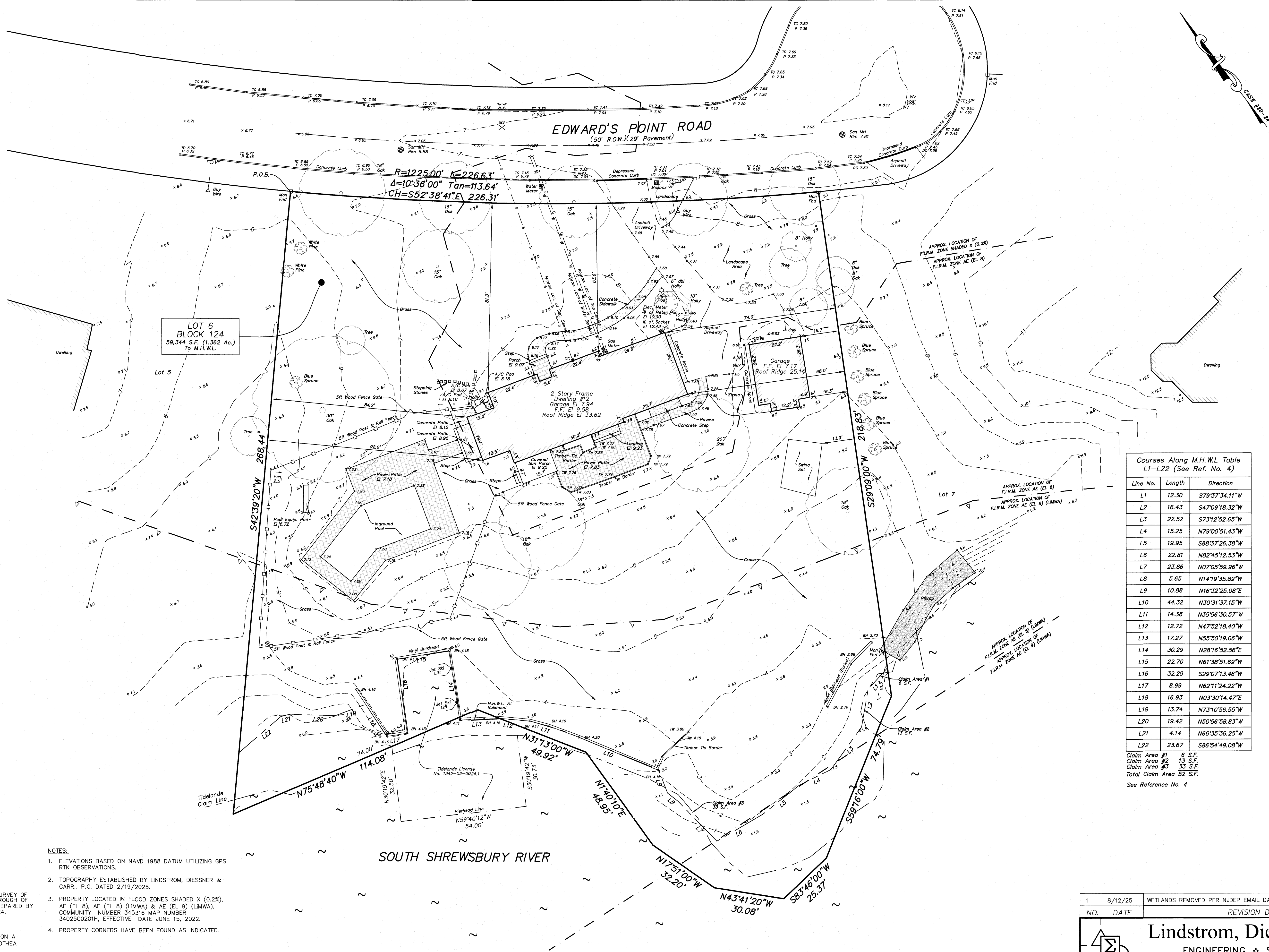
VISHAKHA PARALKAR

ANDERSON CAMPANELLA ARCHITECTS
120 EAST RIVER RD
RUMSON NJ 07760

MOBILE: 908-240-6393
EMAIL: VPARALKAR@ANDERSONCAMPANELLA.COM

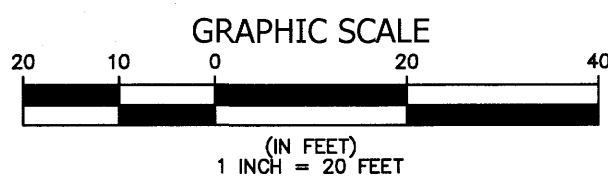
From: Marie DeSoucey <mdesoucey@rumsonnj.gov>
Sent: Friday, July 11, 2025 5:20 PM
To: Vishakha Paralkar <vparalkar@andersoncampanella.com>
Cc: James Anderson <janderson@andersoncampanella.com>
Subject: 12 Edwards Point Rd

Sorry, one more thing.
Schedule 5-3 for FA and FAR has an oddity as well.
FA, BC and LC is based on "useable lot area"
While FAR is based on total lot area... yes really! 😊
It's in the last row of the first column



Courses Along M.H.W.L. Table L1-L22 (See Ref. No. 4)		
Line No.	Length	Direction
L1	12.30	S79°37'34.11\"W
L2	16.43	S47°09'18.32\"W
L3	22.52	S73°12'52.65\"W
L4	15.25	N79°00'51.43\"W
L5	19.95	S88°37'26.38\"W
L6	22.81	N82°45'12.53\"W
L7	23.86	N07°05'59.96\"W
L8	5.65	N14°19'35.89\"W
L9	10.88	N16°32'25.08\"E
L10	44.32	N30°31'37.15\"W
L11	14.38	N35°56'30.57\"W
L12	12.72	N47°52'18.40\"W
L13	17.27	N55°50'19.06\"W
L14	30.29	N28°16'52.56\"E
L15	22.70	N61°38'51.69\"W
L16	32.29	S29°07'13.46\"W
L17	8.99	N62°11'24.22\"W
L18	16.93	N03°30'14.47\"E
L19	13.74	N73°10'56.55\"W
L20	19.42	N50°56'58.83\"W
L21	4.14	N66°35'36.25\"W
L22	23.67	S86°54'49.08\"W

Claim Area #1 6 S.F.
Claim Area #2 13 S.F.
Claim Area #3 33 S.F.
Total Claim Area 52 S.F.
See Reference No. 4



REFERENCES USED:

- FILED MAP CASE No. 29-24
- DEED BOOK 9712, PAGE 6040
- TIDELANDS LICENSE No. 1342-02-0024.1
- BOUNDARY AS SHOWN FROM PLAN ENTITLED "SURVEY OF PROPERTY WITH TIDELANDS, LOT 6, BLOCK 124, BOROUGH OF RUMSON, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED 10/4/24.

PROPERTY DESCRIPTION:

BEING KNOWN AS LOT 9 IN BLOCK 640 AS SHOWN ON A MAP ENTITLED "SUBDIVISION PLAN, ESTATE OF DOROTHEA FOLKER, SITUATED IN BOROUGH: RUMSON, COUNTY: MONMOUTH, STATE: N.J.," FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON OCTOBER 8, 1962 AS MAP No. 29-24.

ALSO BEING KNOWN AS LOT 6 IN BLOCK 124 ON THE OFFICIAL TAX MAP SHEET 42 OF BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.

NOTES:

- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- TOPOGRAPHY ESTABLISHED BY LINDSTROM, DIESSNER & CARR., P.C. DATED 2/19/2025.
- PROPERTY LOCATED IN FLOOD ZONES SHADED X (0.2%), AE (EL 8), AE (EL 8) (LIMWA) & AE (EL 9) (LIMWA), COMMUNITY NUMBER 345316 MAP NUMBER 34025C0201H, EFFECTIVE DATE JUNE 15, 2022.
- PROPERTY CORNERS HAVE BEEN FOUND AS INDICATED.

OFFSET DIMENSIONS FROM BUILDINGS AND FENCES AS SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN AGGREGATE TITLE SEARCH MUST DISCLOSE. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. ENVIRONMENTALLY SENSITIVE AREAS AND HAZARDOUS WASTE SITES, IF ANY, ARE NOT LOCATED BY THIS SURVEY. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL. NO LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR FOR THE USE OF THIS SURVEY BY ANY PARTY NOT SHOWN ON THE CERTIFYING HEREON, OR FOR THE USE OF SURVEY WITH SURVEY ADJUTANT. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

1	8/12/25	WETLANDS REMOVED PER NJDEP EMAIL DATED 7/31/2025	TJL
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
TOPOGRAPHIC SURVEY LOT 6 BLOCK 124		BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY	
WILLIAM H. DOOLITTLE PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 246303624000	DRAWN BY: TJL	SCALE: 1"=20'	DATE: 2/19/2025
PROJECT: 25009		SHEET: 1 OF 1	

RESIDENTIAL R-1 ZONE REQUIREMENTS			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	1.5 Ac.	1,362 Ac.* ⁽¹⁰⁾	1,362 Ac.* ⁽¹⁰⁾
MIN. LOT WIDTH AND FRONTAGE ⁽⁹⁾	200 FT.	250.2 FT.	250.2 FT.
MIN. FRONT YARD SETBACK	100 FT.	56.2 FT.*	51.4 FT.**
MIN. SIDE YARD SETBACK ⁽²⁾	45 FT.	68.0 FT.	45.3 FT.
SIDE SETBACK COMBINED ⁽²⁾	95 FT.	152.2 FT.	108.2 FT.
MIN. REAR YARD SETBACK ^{(5) (11)}	50 FT.	107.3 FT.	93.6 FT.
MIN. ACCESSORY BUILDING SIDE YARD SETBACK	15 FT.	16.3 FT.	N/A
MIN. ACCESSORY BUILDING REAR YARD SET BACK	15 FT.	108.2 FT.	N/A
SHAPE REQUIREMENT	115 FT.	86.55 FT.*	86.55 FT.**
MAX BUILDING COVERAGE ^{(3) (6)}	4,887.85 S.F.	3,470.0 S.F.	4,838.0 S.F.
MAX. LOT COVERAGE ^{(10) (7)}	12,596.31 S.F.	9,371.3 S.F.	11,638.4 S.F.
MAX. GROSS FLOOR AREA	8,004.6 S.F.	5,707.0 S.F.	7,305.0 S.F.
MAX. GROSS FLOOR AREA RATIO	0.135	0.096	0.123
MIN. GROSS RESIDENTIAL GROUND FLOOR AREA (2 STORY) ⁽⁸⁾	1,400 S.F.	>1,400 S.F.	3,725 S.F.
MAX. BUILDING HEIGHT ⁽⁴⁾			
EAVES	32 FT.	<32 FT.	28 FT.
HEIGHT	2½ STORIES	2 STORIES	2½ STORIES
RIDGE	40 FT.	25.8 FT.±	39 FT.
POOL SETBACK ⁽⁹⁾⁽¹¹⁾	25 FT.	39.1 FT. ⁽¹¹⁾	25.6 FT.
POOL PATIO ⁽⁹⁾⁽¹¹⁾	25 FT.	31.5 FT. ⁽¹¹⁾	19.0 FT.**
* DENOTES EXISTING NON-COMFORMANCE			
** DENOTES VARIANCE REQUIRED			

EXISTING BUILDING COVERAGE	
DWELLING	2,846.0 S.F.
GARAGE	624.0 S.F.
TOTAL	3,470.0 S.F.

PROPOSED BUILDING COVERAGE	
DWELLING ROOF EXTENT	5,357.0 S.F.
ROOF OVERHANGS UP TO 12"***	-395.0 S.F.
PORCH FACING FRONT (STREET)***	-124.0 S.F.
TOTAL	4,838.0 S.F.

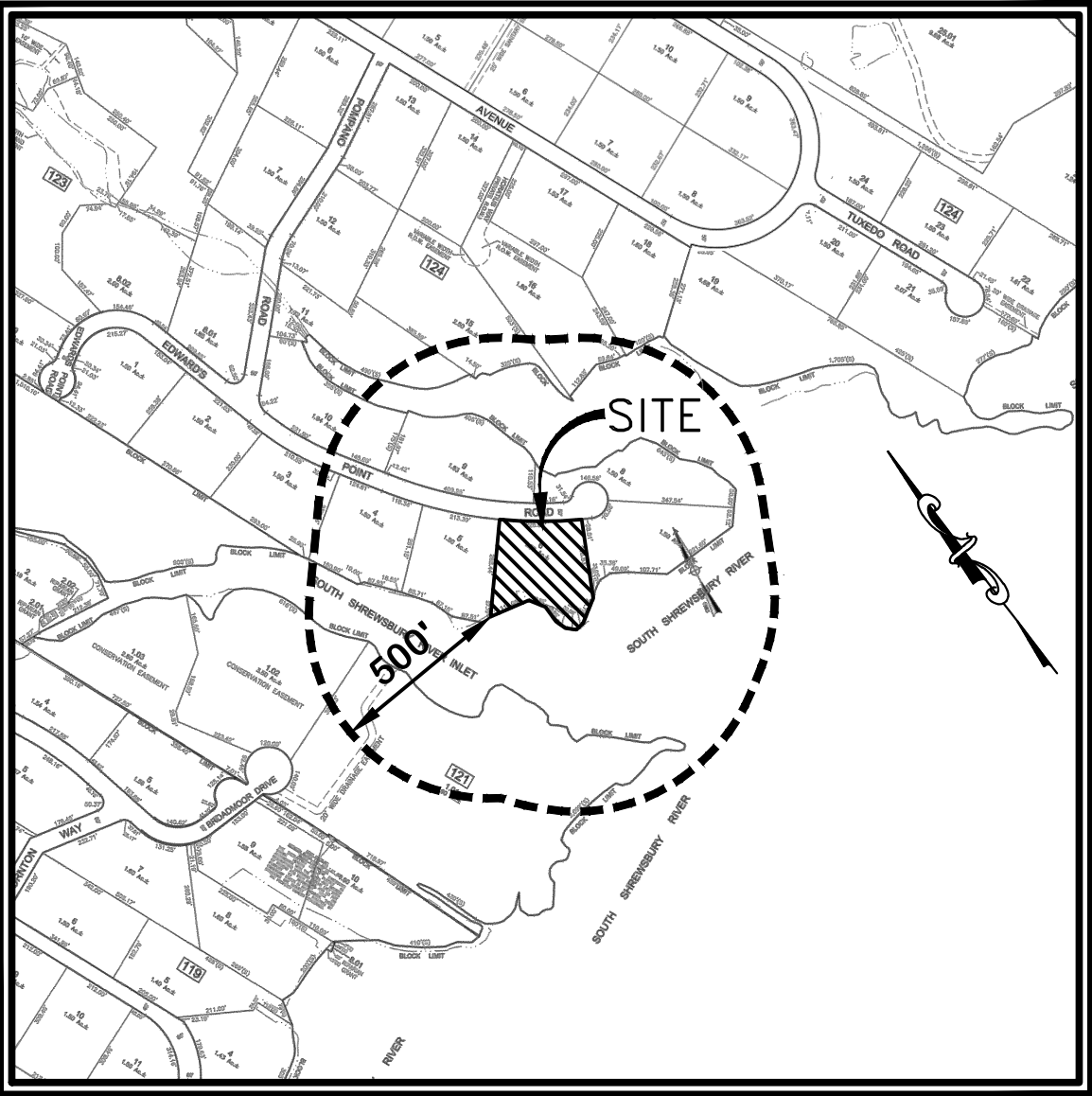
EXISTING LOT COVERAGE	
BUILDING COVERAGE	3,447.4 S.F.
ASPHALT DRIVEWAY	1,804.5 S.F.
PAVER PATIOS	2,268.3 S.F.
CONCRETE WALKS > 4' WIDE	29.3 S.F.
CONCRETE APRON AT DWELLING	40.8 S.F.
CONCRETE APRON AT GARAGE	70.6 S.F.
CONCRETE STEPS, LANDINGS & PADS	285.6 S.F.
TIMBER TIES	31.3 S.F.
STONE BY GARAGE	319.1 S.F.
BULKHEAD	167.2 S.F.
POOL	867.8 S.F.
POOL EQUIPMENT PAD	23.2 S.F.
UTILITY PADS	16.2 S.F.
CONC WALK 4' WIDE OR LESS	254.5 S.F.
PAVER WALK 4' WIDE OR LESS	52.3 S.F.
DEDUCTIONS FOR WALKWAYS 4' WIDE OR LESS	-306.8 S.F.
TOTAL	9,371.3 S.F.

PROPOSED LOT COVERAGE	
BUILDING COVERAGE	4,838.0 S.F.
DRIVEWAY	4,534.0 S.F.
FRONT WALKWAYS, WALLS AND STEPS TO FRONT LAWN	180.3 S.F.
KITCHEN PATIO	426.0 S.F.
POOL	890.0 S.F.
POOL PATIO	1,312.0 S.F.
STEPS TO POOL	30.0 S.F.
REAR LANDING	140.0 S.F.
UTILITY PADS	63.8 S.F.
LANDSCAPE WALLS	324.7 S.F.
POOL PAD	32.0 S.F.
STEPPING STONES	89.7 S.F.
UNROOFED PATIO DEDUCTION	-1,117.5 S.F.
REAR PAVER WALK 4' WIDE OR LESS	92.4 S.F.
DEDUCTIONS FOR WALKWAYS 4' WIDE OR LESS	-197.0 S.F.
TOTAL	11,638.4 S.F.

- NOTES:
- GROUND FLOOR AREA = 3,725 S.F.
 - 10% OF GROUND FLOOR AREA = 372.5 S.F.
 - 30% OF GROUND FLOOR AREA = 1,117.5 S.F.

- THE REQUIRED SIDE AND REAR YARD SETBACKS AND OTHER REQUIREMENTS FOR RESIDENTIAL RECREATION FACILITIES AND RESIDENTIAL SPORTS FACILITIES (WHICH INCLUDES TENNIS AND PADDE TENNIS COURTS ARE SET FORTH IN SUBSECTIONS 22-7.28 AND 22-7.33 AND SCHEDULE 7-1.
- WHERE THE LOT WIDTH EXCEEDS THE MINIMUM PRESCRIBED FOR THE ZONE DISTRICT, THE COMBINED TOTAL SIDE YARD SETBACK SHALL BE INCREASED 15 FEET FOR EACH FULL 5 FEET BY WHICH LOT WIDTH EXCEEDS THE MINIMUM, ONE SIDE YARD SHALL BE INCREASED BY AT LEAST 1/3 OF THE ADDITIONAL SETBACK DISTANCE REQUIRED. [80 FT. + (60 / 5) * 1.5 = 95 FT.] [(1/3) * (95 - 80) = 5 + 40 = 45 FT.]
- THAT PORTION OF A ROOFED, OPEN-SIDED PORCH FACING A FRONT YARD, WHICH DOES NOT EXCEED 10% OF THE PRINCIPAL BUILDING GROUND FLOOR AREA, MAY BE EXCLUDED FROM THE CALCULATION OF THE MAXIMUM LOT AND BUILDING COVERAGE FOR A SINGLE-FAMILY RESIDENTIAL DWELLING. THE PORCH MAY BE SCREENED AND INCLUDE PORCH RAILING AND/OR BALUSTRADE AND BELOW THE FLOOR LEVEL, PORCH LATTICE OR OTHER ENCLOSURE AROUND THE FOUNDATION, BUT IT SHALL NOT OTHERWISE BE ENCLOSED. ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM LOT AND/OR BUILDING COVERAGE PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-7(C). ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM FLOOR AREA PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-7(D).
- NO BUILDING SHALL EXCEED TWO STORIES PLUS A HABITABLE ATTIC OR BASEMENT.
- LOTS BORDERING A RIVER OR NAVIGABLE WATERWAY ARE SUBJECT TO THE PROVISIONS OF SUBSECTION 22-7.32.
- USABLE LOT AREA 55,046 S.F. - BASIS FOR MAXIMUM BUILDING COVERAGE 45,046 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (45,046 X 0.062 = 2,792.85 S.F.) = 2,095 S.F. + 2,792.85 S.F. = 4,887.85 S.F.
- USABLE LOT AREA 55,046 S.F. - BASIS FOR MAXIMUM LOT COVERAGE 45,046 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (45,046 X 0.1915 = 8,626.31 S.F.) = 3,970 S.F. + 8,626.31 = 12,596.31 S.F.
- USABLE LOT AREA 55,046 S.F. - BASIS FOR MAXIMUM PERMITTED FLOOR AREA = 8,004.6 S.F.
- LOT WIDTH AND FRONTAGE MEASURED ALONG FRONT SETBACK LINE.
- LOT AREA TO MHWL.
- SETBACK FROM MHWL.

MAXIMUM PERMITTED FLOOR AREA			
FACTOR	USABLE LOT AREA(U.L.A.)	FLOOR AREA RATIO PERMITTED	MAX. PERMITTED FLOOR AREA
U.L.A. ≤5,000 S.F.	5,000	(X)0.4	2,000
U.L.A. 5,000-10,000 S.F.	5,000	(X)0.3	1,500
U.L.A. 10,000-70,000 S.F.	45,046	(X)0.1	4,504.6
TOTAL MAX. PERMITTED FLOOR AREA = 2,000+1,500+4,504.6 = 8,004.6 S.F.			



KEY MAP
SCALE: 1" = 500'



AERIAL MAP
SCALE: 1" = 500'

PLOT PLAN FOR

12 EDWARD'S POINT ROAD

LOT 6 BLOCK 124

BOROUGH OF RUMSON, MONMOUTH COUNTY, NJ

SHEET INDEX

SHEET No.	DESCRIPTION	LAST REVISION	REV. No.
1	COVER SHEET & GENERAL NOTES	8/12/25	2
2	EXISTING CONDITIONS PLAN	8/12/25	1
3	SITE PLAN	8/12/25	1

CAFRA GENERAL NOTES:

- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- SWIMMING POOL BACKWASH SHALL REMAIN ONSITE IN DRYWELL AND SHALL NOT DRAIN TO ADJACENT WATERWAY.

GENERAL NOTES:

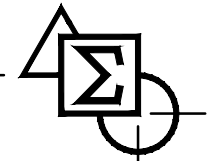
- PROPERTY BEING KNOWN AS LOT 6 IN BLOCK 124 ON THE OFFICIAL TAX MAP SHEET 42 OF THE BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.
- OUTBOUND INFORMATION TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY WITH TIDELANDS, LOT 6, BLOCK 124, BOROUGH OF RUMSON, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED 10/4/24, FOR CRAIG HAAREN & SARAH HAAREN.
- TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT 6, BLOCK 124", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., DATED 2/19/2025, LAST REVISED 8/12/25, FOR CRAIG DANIEL HAAREN & SARAH ROSE HAAREN.
- PROPERTY IS LOCATED IN THE R-1 ZONE.
- TOTAL AREA OF TRACT: 59,344 S.F. (1.362 AC.) TO MHWL.
- OWNER/APPLICANT: CRAIG (DAN) & SARAH HAAREN
12 EDWARD'S POINT ROAD
RUMSON, NJ 07760
- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONES SHADED X (0.2%), AE (EL 8), AE (EL 8) (LIMWA) & AE (EL 9) (LIMWA), COMMUNITY NUMBER 345316 MAP NUMBER 34025C0201H, EFFECTIVE DATE JUNE 15, 2022.
- HORIZONTAL DATUM BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 1983. MAIN BEARINGS SHOWN ARE IN NAD 83 DATUM UNLESS STATED OTHERWISE.
- THE MEAN HIGH WATER LINE SHOWN HEREON HAS BEEN ESTABLISHED BY ELEVATION PER THE ABOVE REFERENCED SURVEY PREPARED BY MORGAN ENGINEERING & SURVEYING IN NOTE 2 ABOVE.
- UTILITIES ARE EXISTING AND SHALL BE CONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION. ALL UTILITIES MUST BE INSTALLED UNDERGROUND.
- FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
- ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
- ROOF LEADERS SHALL BE DIRECTED TOWARDS THE STREET AND/OR REAR YARD AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES.
- PROPERTY CORNERS HAVE BEEN LOCATED AS SHOWN.
- ALL NOTES AND REFERENCES CONTAINED IN THE ABOVE REFERENCED SURVEY MAP REMAIN IN EFFECT.
- SEE ARCHITECTURAL PLANS PREPARED BY ANDERSON & CAMPANELLA FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION.
- ADJACENT FEATURES SHALL NOT BE SCALED AS THEY MAY BE SCHEMATIC.
- CONTRACTOR SHALL OBTAIN ROAD OPENING PERMITS AS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- ENTIRE SITE IS WITHIN 300' RIPARIAN ZONE.
- THE NJDEP HAS DETERMINED THAT THERE ARE NO WETLANDS ONSITE.
- THESE GENERAL NOTES APPLY TO ALL SHEETS ON THE SET.

FLOOD HAZARD CONTROL ACT NOTES

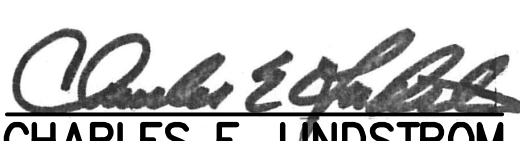
- INGROUND POOLS: (7:13-7.21)
 - THE PROPOSED POOL IS NOT LOCATED WITHIN A FLOODWAY.
 - THE PROPOSED POOL IS LOCATED ADJACENT TO A LAWFULLY EXISTING BULKHEAD ALONG A TIDAL WATER.
- DECK:
 - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING, BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
 - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
 - THE DECK SHALL BE DESIGN AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16.
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
 - THE PROPOSED CRAWL SPACE ELEVATION IS 9.0 NAVD 88 AND GARAGE ELEVATION IS 9.50 NAVD 88. THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 14.0 NAVD88.
 - LOWEST FLOOR SHALL MEET THE FOLLOWING:
 - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
 - SINCE THE LOWER LEVEL AND GARAGE ELEVATIONS ARE ABOVE BFE OF 8 BY AT LEAST 1 FOOT, NO FLOOD VENTING IS REQUIRED.
- THE PROPOSED BUILDING AND ASSOCIATED STRUCTURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS, 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETIN 5.

2	8/12/25	REMOVED CRUSHED STONE PATIO & ADDED GENERATOR & A/C UNITS	CC
1	7/16/25	REVISED ZONING TABLE FLOOR AREA CALCULATIONS	ARD

NO.	DATE	REVISION DESCRIPTION	BY
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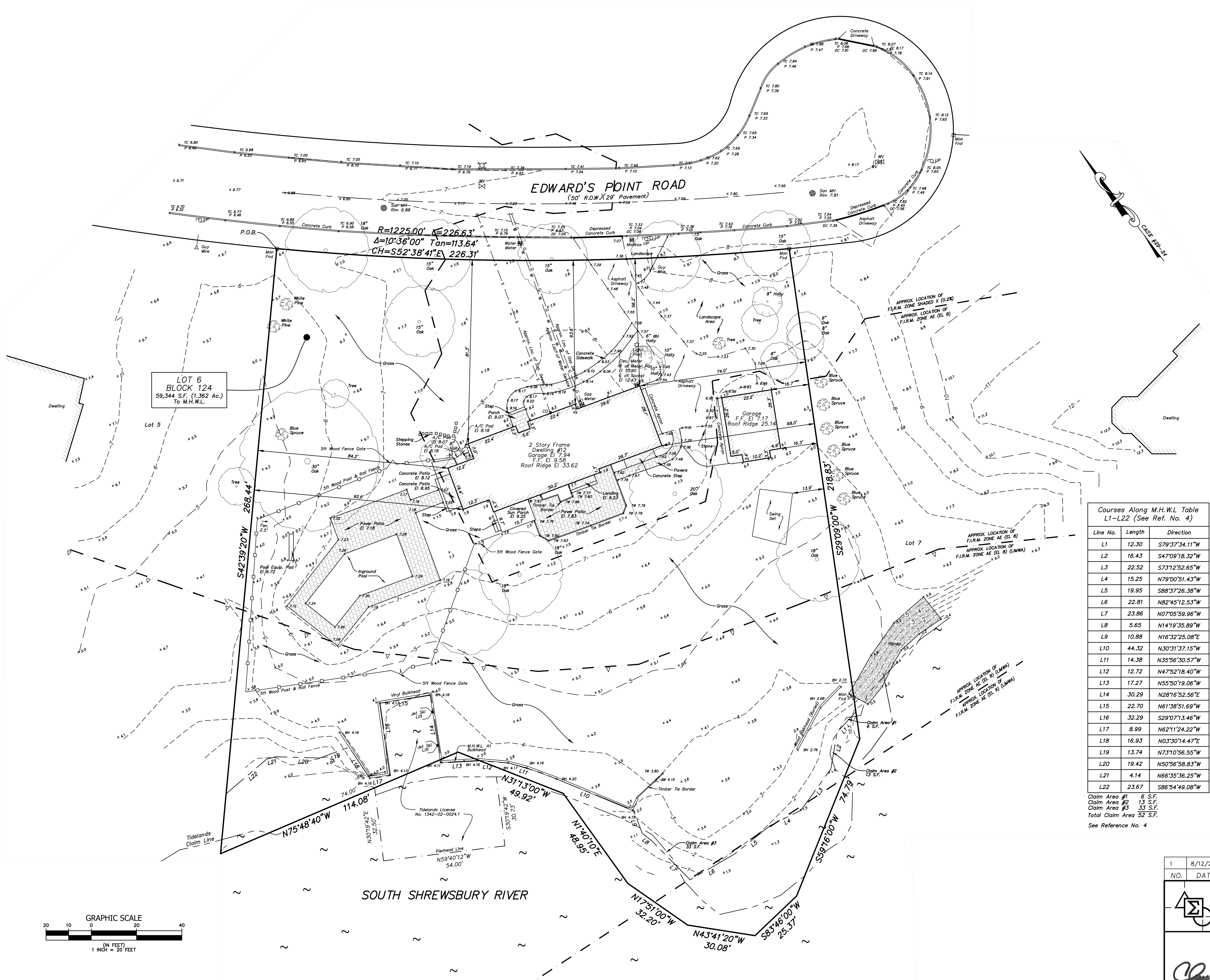
Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026

**CHARLES E. LINDSTROM**
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900
PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300

**PLOT PLAN
COVER SHEET & GENERAL NOTES
12 EDWARD'S POINT ROAD
LOT 6 BLOCK 124**
BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY

DRAWN BY: CC	SCALE: AS NOTED	DATE: 6/23/2025	SHEET: 1 OF 3	PROJECT: 25009
-----------------	--------------------	--------------------	------------------	-------------------

c:\projects\cadd\2023\12009 Lindstrom\25009 12 Edward's Point Road.dwg Aug 12, 2023 - 3:13pm



EXISTING LEGEND

- CONTOUR
SPOT GRADE
'B' INLET
'A' INLET
'E' INLET
YARD INLET
HEADWALL
DRAINAGE PIPE
MANHOLE
SEWER MAIN
SEWER LATERAL
SEWER CLEANOUT
UTILITY POLE
OVERHEAD WIRE
GAS LINE
WATER LINE
FIRE HYDRANT
WATER VALVE
CURB BOX
GUY WIRE
EDGE OF PAVEMENT
CURB
WALL
TREE LINE
CAPPED REBAR

NOTES:

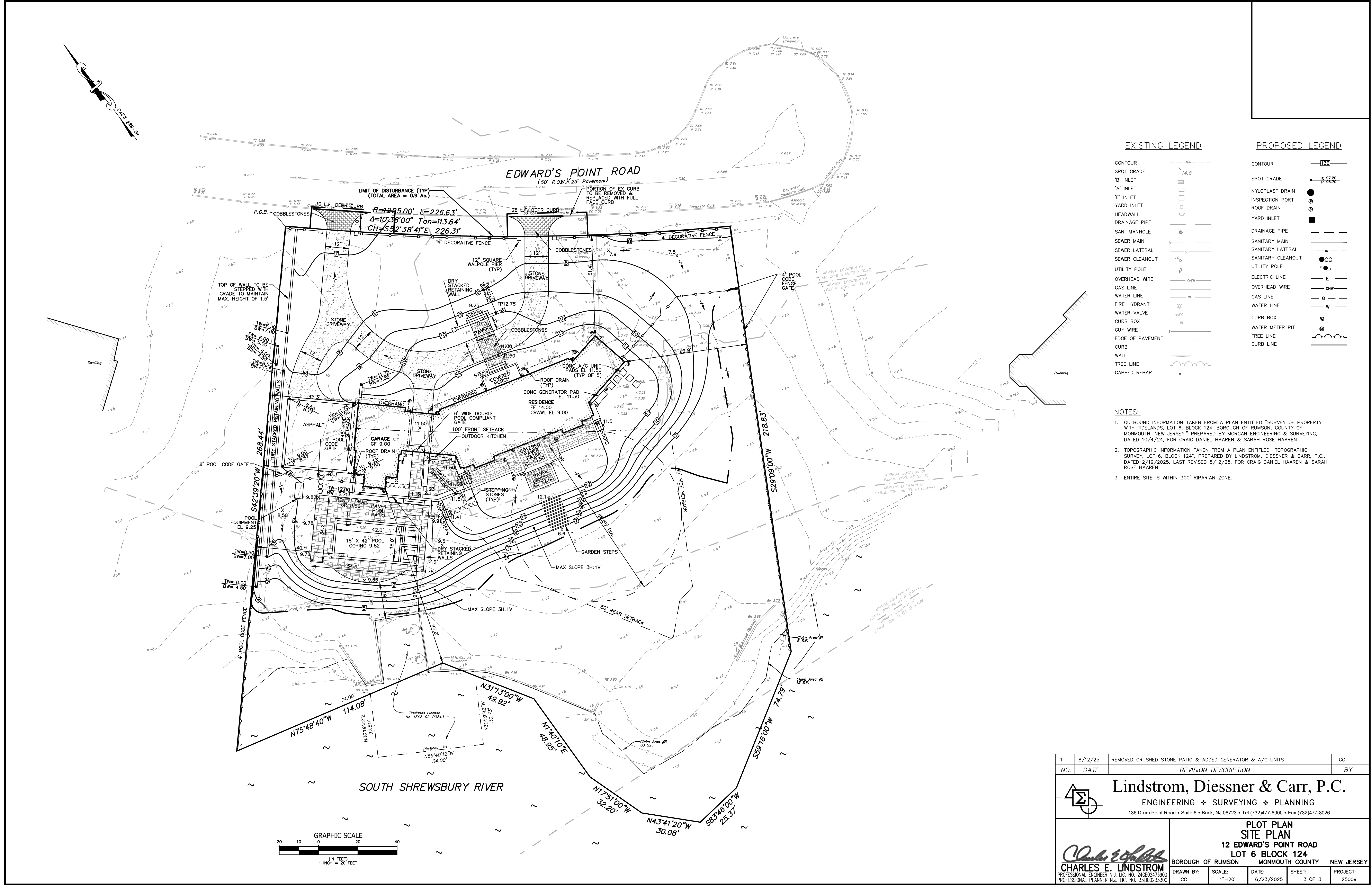
- OUTBOUND INFORMATION TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY WITH TIDELANDS, LOT 6, BLOCK 124, BOROUGH OF RUMSON, COUNTY OF MONMOUTH, NEW JERSEY", PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED 10/4/24, FOR CRAIG DANIEL HAAREN & SARAH ROSE HAAREN.
- TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT 6, BLOCK 124", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., DATED 2/19/2025, LAST REVISED 8/12/25, FOR CRAIG DANIEL HAAREN & SARAH ROSE HAAREN
- ENTIRE SITE IS WITHIN 300' RIPARIAN ZONE.

Courses Along M.H.W.L Table
L1-L22 (See Ref. No. 4)

Line No.	Length	Direction
L1	12.30	S79°37'34.11"W
L2	16.43	S47°09'18.32"W
L3	22.52	S73°12'52.65"W
L4	15.25	N79°00'51.43"W
L5	19.95	S88°37'26.38"W
L6	22.81	N82°45'12.53"W
L7	23.86	N07°05'59.96"W
L8	5.65	N14°19'35.89"W
L9	10.88	N16°32'25.08"E
L10	44.32	N30°31'37.15"W
L11	14.38	N35°56'30.57"W
L12	12.72	N47°52'18.40"W
L13	17.27	N55°50'19.06"W
L14	30.29	N28°16'52.56"E
L15	22.70	N61°38'51.69"W
L16	32.29	S29°07'13.46"W
L17	8.99	N62°11'24.22"W
L18	16.93	N03°30'14.47"E
L19	13.74	N73°10'56.55"W
L20	19.42	N50°56'58.83"W
L21	4.14	N66°35'36.25"W
L22	23.67	S86°54'49.08"W

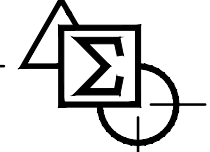
Claim Area #1 6 S.F.
Claim Area #2 13 S.F.
Claim Area #3 33 S.F.
Total Claim Area 52 S.F.
See Reference No. 4

1	8/12/25	WETLANDS REMOVED PER NJDEP EMAIL DATED 7/31/2025	CC
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026 • info@LDCpc.com			
CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 246802473900 PROFESSIONAL PLANNER N.J. LIC. NO. 330400233300			
PLOT PLAN EXISTING CONDITIONS PLAN 12 EDWARD'S POINT ROAD LOT 6 BLOCK 124 BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY			
DRAWN BY:	SCALE:	DATE:	SHEET:
CC	1"=20'	6/23/2025	2 OF 3
PROJECT:			25009



EXISTING LEGEND		PROPOSED LEGEND	
CONTOUR	---	CONTOUR	---
SPOT GRADE	x	SPOT GRADE	●
'B' INLET	□	NYLOPLAST DRAIN	●
'A' INLET	□	'E' INLET	●
'E' INLET	□	INSPECTION PORT	●
YARD INLET	□	ROOF DRAIN	●
HEADWALL	□	YARD INLET	■
DRAINAGE PIPE	---	DRAINAGE PIPE	---
SAN. MANHOLE	●	SANITARY MAIN	---
SEWER MAIN	---	SANITARY LATERAL	---
SEWER LATERAL	---	SANITARY CLEANOUT	●
SEWER CLEANOUT	○	UTILITY POLE	●
UTILITY POLE	●	ELECTRIC LINE	---
OVERHEAD WIRE	---	OVERHEAD WIRE	---
GAS LINE	---	GAS LINE	---
WATER LINE	---	WATER LINE	---
FIRE HYDRANT	---	CURB BOX	■
WATER VALVE	---	WATER METER PIT	●
CURB BOX	■	TREE LINE	---
GUY WIRE	---	CURB LINE	---
EDGE OF PAVEMENT	---		
CURB	---		
WALL	---		
TREE LINE	---		
CAPPED REBAR	○		

- NOTES:
1. OUTBOUND INFORMATION TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY WITH TIDELANDS, LOT 6, BLOCK 124, BOROUGH OF RUMSON, COUNTY OF MONMOUTH, NEW JERSEY." PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED 10/4/24, FOR CRAIG DANIEL HAAREN & SARAH ROSE HAAREN.
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 3. ENTIRE SITE IS WITHIN 300' RIPARIAN ZONE.

1	8/12/25	REMOVED CRUSHED STONE PATIO & ADDED GENERATOR & A/C UNITS	CC
NO.	DATE	REVISION DESCRIPTION	BY
 Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
 CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 246802473900 PROFESSIONAL PLANNER N.J. LIC. NO. 330100233300		PLOT PLAN SITE PLAN 12 EDWARD'S POINT ROAD LOT 6 BLOCK 124 BOROUGH OF RUMSONMONMOUTH COUNTYNEW JERSEY	
DRAWN BY: CC		SCALE: 1"=20'	DATE: 6/23/2025
SHEET: 3 OF 3		PROJECT: 25009	

HAAREN RESIDENCE

12 EDWARD'S POINT ROAD, LOT 6, BLOCK 4

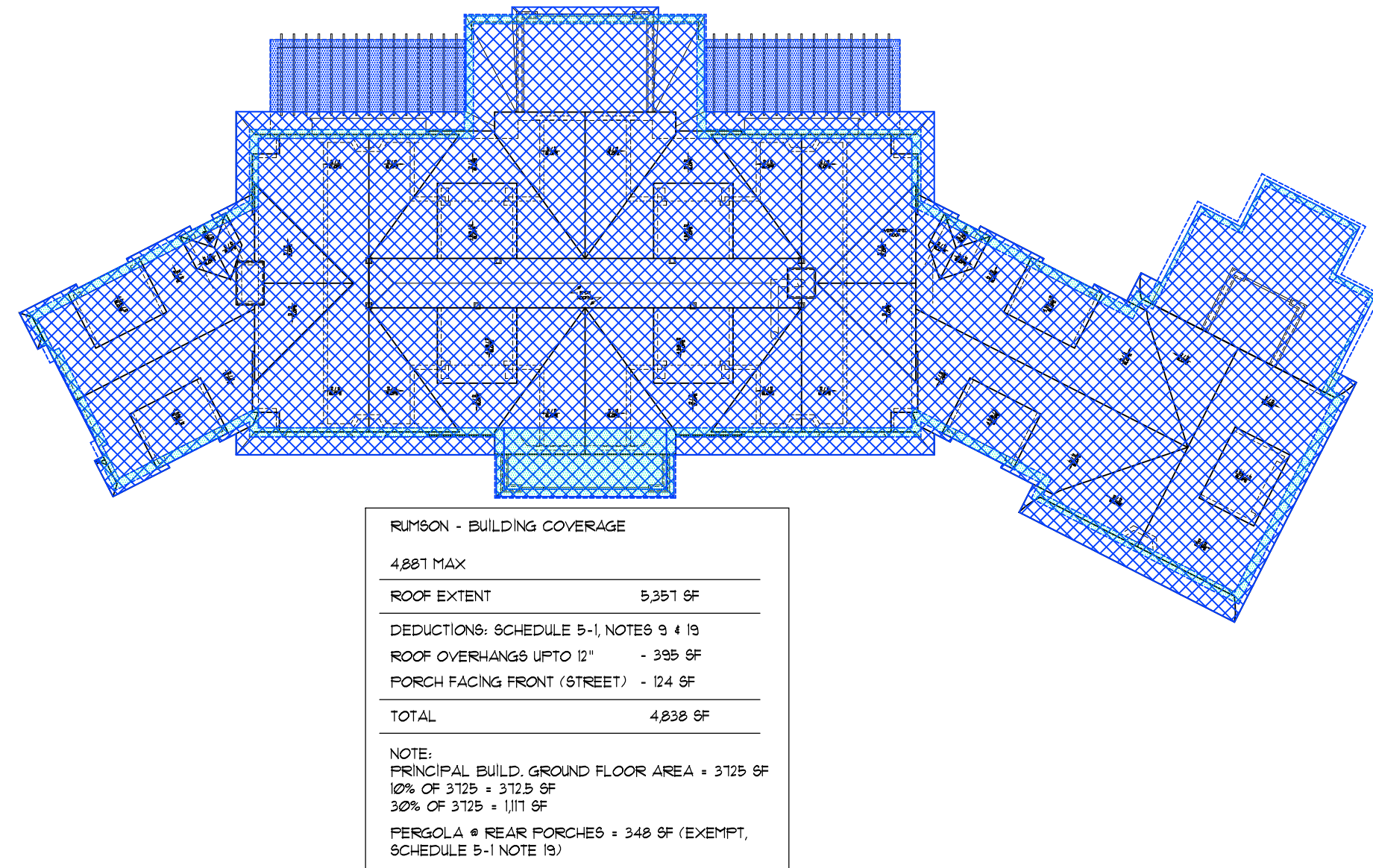
RUMSON, NEW JERSEY



ABBREVIATION LIST

ADD.	ADDITIONAL	INFO	INFORMATION
AFF.	ABOVE FINISH FLOOR	INSUL	INSULATION
ALUM.	ALUMINUM	J.S.	JAMB SWITCH
A.S.L.	ABOVE SEA LEVEL	L	LENGTH
A.S.F.	ABOVE SUB FLOOR	LIN.	LINEN
BLDG.	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MLAM	MICRO LAM
B.V.	BLOCK VENT	M.O.	MASONRY
CL	CENTER LINE	OPP. HD	OPPOSITE HAND
CJ*	CEILING JOISTS	OPNG	OPENING
CLG.	CEILING	FLAM	FARALAM
CMU	CONCRETE MASONRY UNIT	FLY WD.	FLYWOOD
COL.	COLUMN	P.T.	PRESERVATIVELY PRESURE TREATED
CONC.	CONCRETE		
CONT.	CONTINUOUS	PTD	PAINTED
D	DEPTH OR DEEP	PVC	POLY VINYL CHLORIDE
DN	DOWN	POUD	POUNDER
DR	DOOR	REQ.	REQUIRED
DS	DOWNSPOUT	RSH	ROUGH
DW	DISHWASHER	RM	ROOM
ELEV.	ELEVATION	R.O.	ROUGH OPENING
EQ	EQUAL	RR	ROOF RAFTERS
EXIST.	EXISTING	SIM.	SIMILAR
FD	FLOOR DRAIN	T & G	TONGUE & GROOVE
FIN.	FINISH	THK	THICK
FL	FLOOR	T.O.	TOP OF
FNDR	FOUNDATION	T.J.I.	TRUSS JOIST INDUSTRIES
F.P.	FIRE PLACE	V.I.F.	VERIFY IN FIELD
FTG.	FOOTING	W/	WITH
F.V.	FLOOD VENT	W	WIDTH OR WIDE
G.F.I.	GROUND FAULT INTERRUPT	WD	WOOD
GYP. BD.	GYPSUM BOARD	WIN	WINDOW

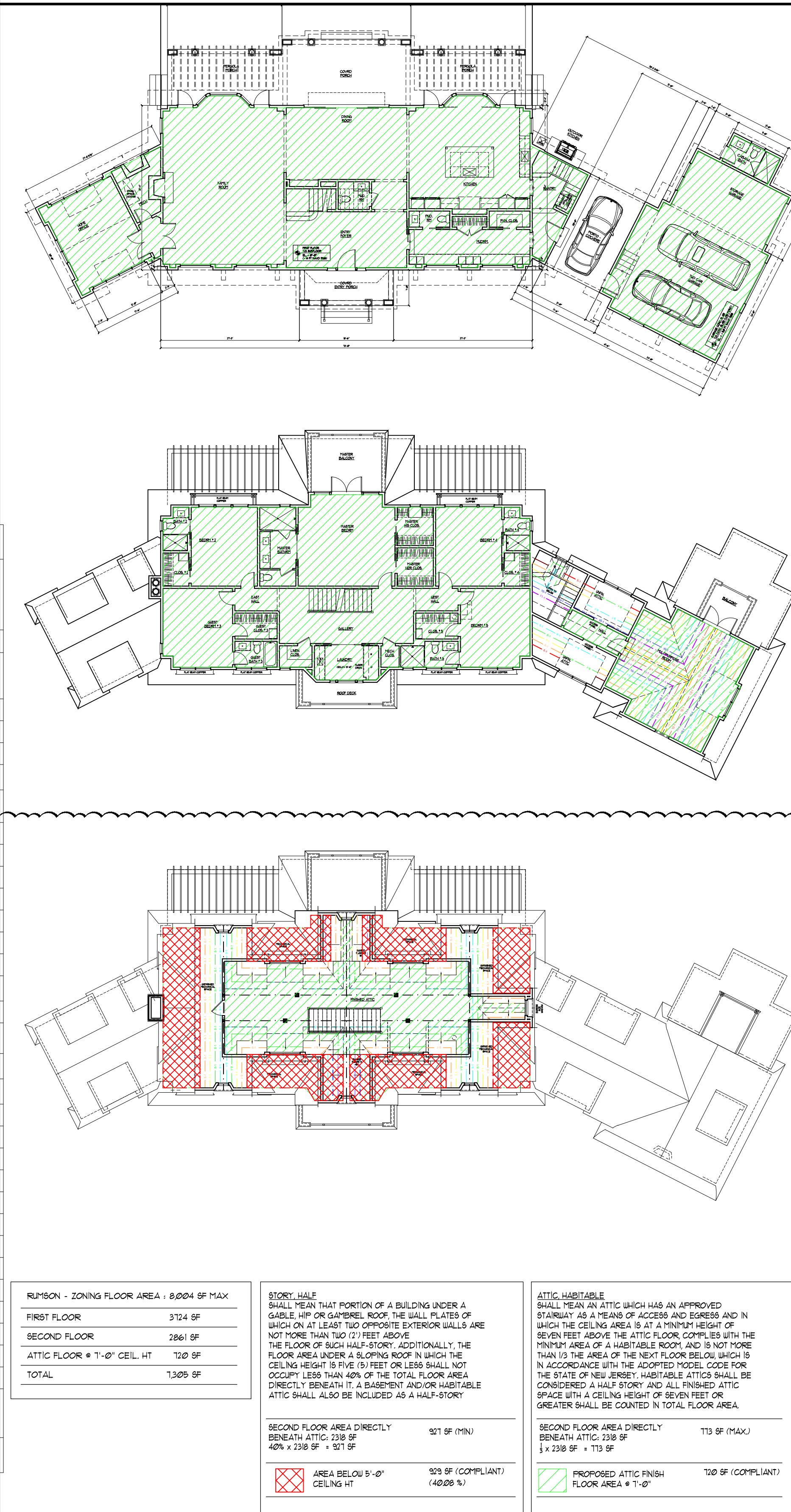
BUILDING COVERAGE DIAGRAM



ZONING & CODE INFORMATION

ADDRESS: LOT: BLOCK: ZONE:	12 EDWARD'S POINT ROAD, RUMSON, NJ 6 4 R-1			
	REQUIRED	EXISTING	PROPOSED	REMARKS
MIN. LOT AREA	15 AC. 65,340 SF	13,621 AC. (59,344 SF) USABLE AREA: 59,046 SF	UNCHANGED	EXISTING NON-COMFORMITY
MIN. LOT FRONTAGE (STREET)	200 FT	226.63 FT	UNCHANGED	PER 22-132 A (1)
MIN. LOT WIDTH	200 FT	250 FT	UNCHANGED	
INTERIOR LOT SHAPE CIRCLE	115 FT	85 FT ±	UNCHANGED	EXISTING NON-COMFORMITY
PRINCIPAL STRUCTURE				
FRONT YARD SETBACK	100 FT	56.2 FT ±	SEE NOTE 1	EXISTING NON-COMFORMITY
MIN. SIDE YARD SETBACK				
ONE SIDE	45.0 FT	68.0 FT	SEE NOTE 1	
TOTAL BOTH SIDES	90.0 FT	132 FT	SEE NOTE 1	
REAR YARD	50.0 FT	110 FT ±	SEE NOTE 1	
BUILDING HEIGHT - STOREYS	2 1/2	2	2 1/2	SCHEDULE 5-2 NOTE 3
BUILDING HEIGHT - RIDGE	40 FT		38.0 FT	SCHEDULE 5-2 NOTE 4
BUILDING HEIGHT - EAVES	32 FT		28.0 FT	SCHEDULE 5-2 NOTE 4
ACCESSORY STRUCTURE (POOL)				
MIN. SIDE YARD SETBACK	25 FT	21.5 FT ±	SEE NOTE 1	
MIN. REAR YARD SETBACK	25 FT	12.0 FT ±	SEE NOTE 1	
MAXIMUM ALLOTMENTS				
	REQUIRED	EXISTING	PROPOSED	
MAX. BUILDING COVERAGE				
PRINCIPAL RESIDENCE		2,846 SF	4,838 SF	
DETACHED GARAGE		624 SF	NA	
TOTAL	4,881 SF	3,470 SF	4,838 SF	
MAX. LOT COVERAGE	12.5% SF	15,881 SF ±	SEE NOTE 1	
MAX. FLOOR AREA				
PRINCIPAL RESIDENCE				
FIRST FLOOR		2,131 SF	3,124 SF	
SECOND FLOOR		2,360 SF	2,861 SF	
HABITABLE ATTIC		0 SF	120 SF	
DETACHED GARAGE		590 SF	NA	
TOTAL	8,004 SF	5,101 SF	13,895 SF	
FLOOR AREA RATIO	0.135	0.025/0.020	0.23	
SIDE YARD SETBACK GREATER OF: A) SCHEDULE 5-1, NOTE 15; B) FLOOR AREA EXCEED 85% OF MAXIMUM. ONE SIDE YARD = 40'-0" 42FT TOTAL SIDE YARD = 84'-0" 84 FT (B) SCHEDULE 5-1, NOTE 1, LOT WIDTH EXCEEDS MIN. INCREASE TOTAL YD 15 FT FOR EACH 5 FT OVER WIDTH 250-200 = 50' 50' / 5 = 10' 10' x 15 = 15' (1) / 3' = 5' ONE SIDE YARD = 40' + 5' = 45 FT, TOTAL SIDE YARD 80' + 5' = 85 FT				
NOTE 1: FOR ADDITIONAL INFORMATION SEE SITE PLAN PREPARED BY: LINDSTROM, DESIGNER & CARR P.C.				

FLOOR AREA DIAGRAMS



DWG. NO.	DRAWING DESCRIPTION
ARCHITECTURAL DRAWINGS	
1	A101 PROJECT INFORMATION
2	A102 FOUNDATION PLAN
3	A103 FIRST FLOOR PLAN
4	A104 SECOND FLOOR PLAN
5	A105 ATTIC FLOOR PLAN
6	A106 ROOF PLAN
7	A107 EXTERIOR ELEVATIONS
8	A108 EXTERIOR ELEVATIONS

1	ZONING DEPT. COMMENTS	7/15/25
	ZONING SUBMISSION	6/19/25
	PRELIMINARY BID	5/15/25

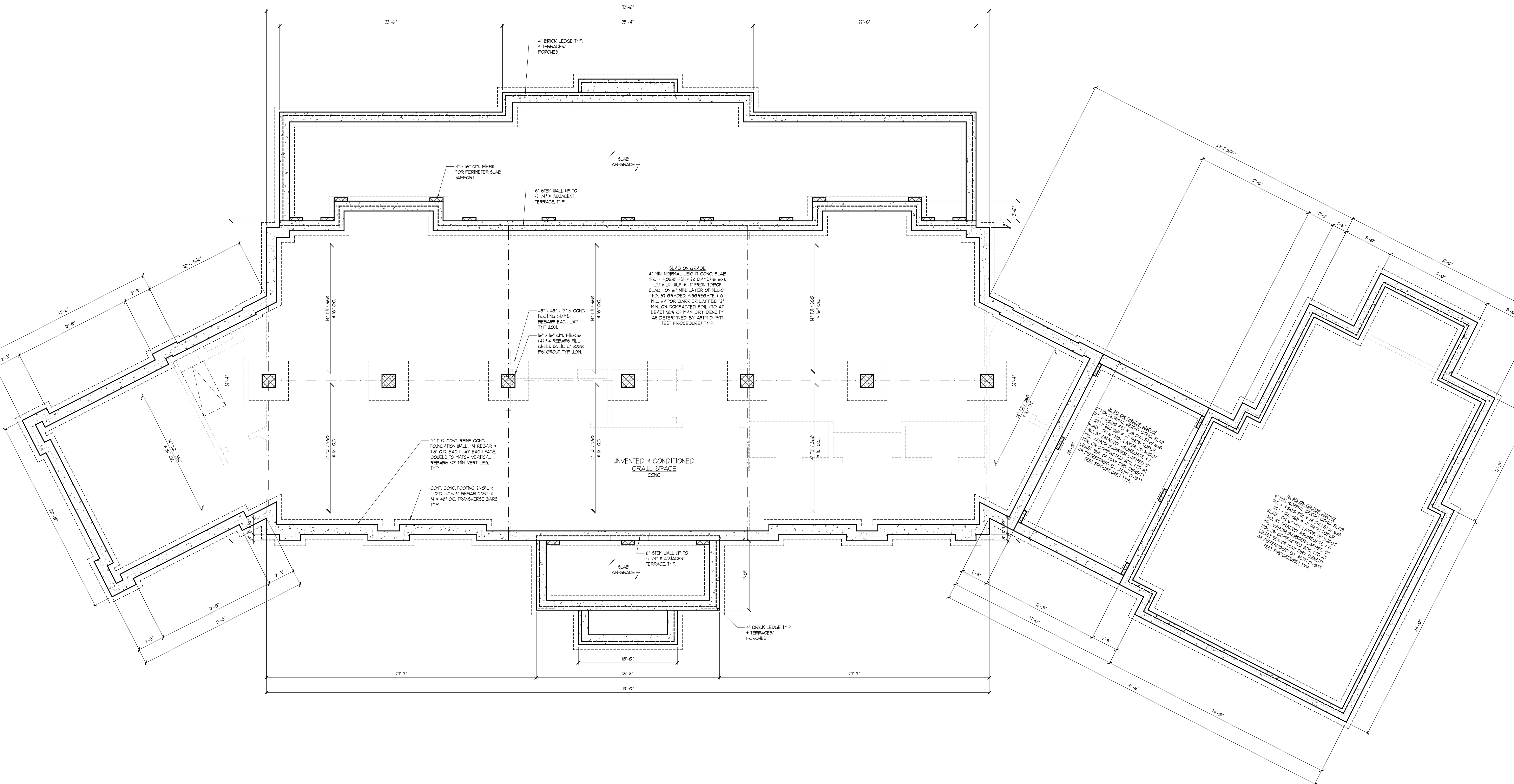
NO.	REVISIONS / ISSUES	DATE
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ANDERSON CAMPANELLA
120 EAST RIVER ROAD
RUMSON, NJ 07760
TEL: 732.219.0014
FAX: 732.219.0100
JAMES C. ANDERSON
N.J. LIC. AI 11931
FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

PROJECT:
NEW RESIDENCE FOR
C. DANIEL & SARAH HAAREN
12 EDWARD'S POINT RD.
LOT 6, BLOCK 124
RUMSON, NJ

SHEET TITLE:
PROJECT INFORMATION
ZONING CHART
NOTES & DIAGRAMS

SCALE: JOB NO.:
AS NOTED 2427
DRAWN: VRP
CHKD: A001



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



1		ZONING DEPT. COMMENTS	7/15/25
1		ZONING SUBMISSION	6/19/25
1		PRELIMINARY BID	5/15/25
NO.	REVISIONS / ISSUES	DATE	

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CAMPANELLA

AC

120 EAST
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RUMSON NJ
07760

Tel: 732-219-0014
Fax: 732-219-0106

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NEW RESIDENCE FOR
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12 EDWARD'S POINT RD.
LOT 6, BLOCK 124
RUMSON, NJ

SHEET TITLE:
FOUNDATION PLAN

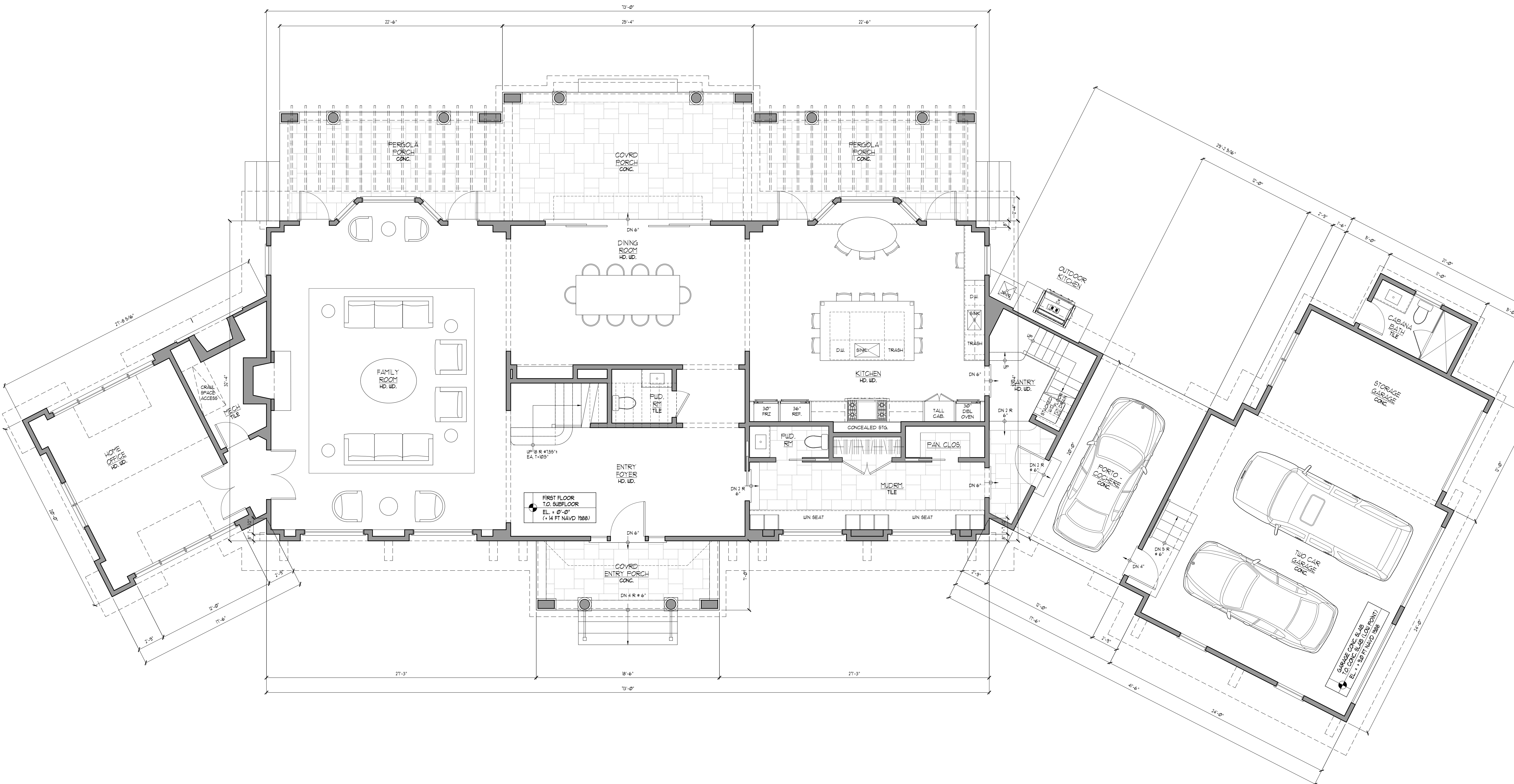
SCALE:
As NOTED

DRAWN:
VRP

CHRD:

JOB NO:
2427

SHEET NO.:
A100



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

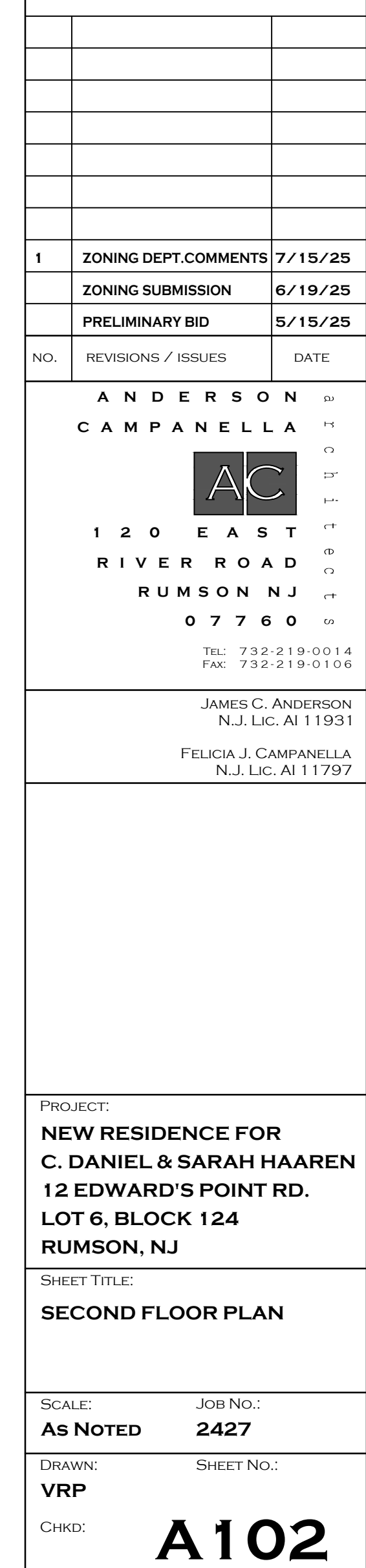
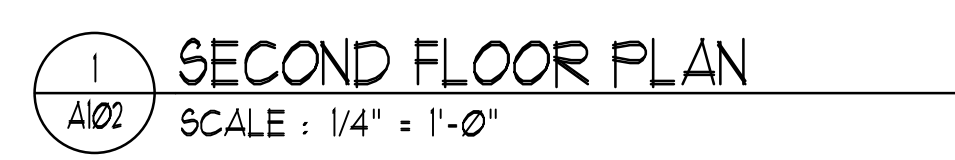
1		ZONING DEPT. COMMENTS	7/15/25
		ZONING SUBMISSION	6/19/25
		PRELIMINARY BID	5/15/25
NO.	REVISIONS / ISSUES	DATE	

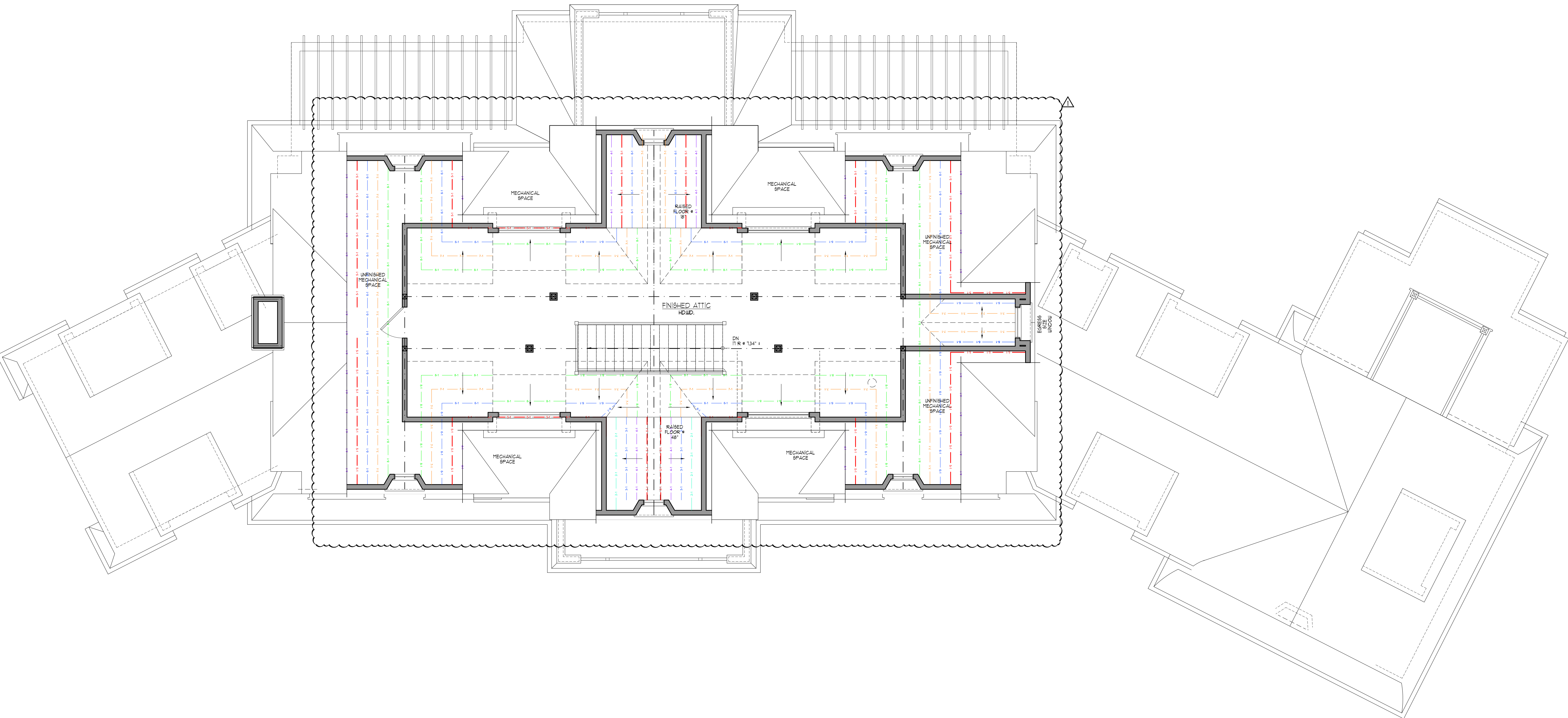
ANDERSON CAMPANELLA
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FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

PROJECT:
**NEW RESIDENCE FOR
C. DANIEL & SARAH HAAREN
12 EDWARD'S POINT RD.
LOT 6, BLOCK 124
RUMSON, NJ**

SHEET TITLE:
FIRST FLOOR PLAN

SCALE: **AS NOTED** JOB NO: **2427**
DRAWN: **VRP** SHEET NO.:
CHKD: **A101**

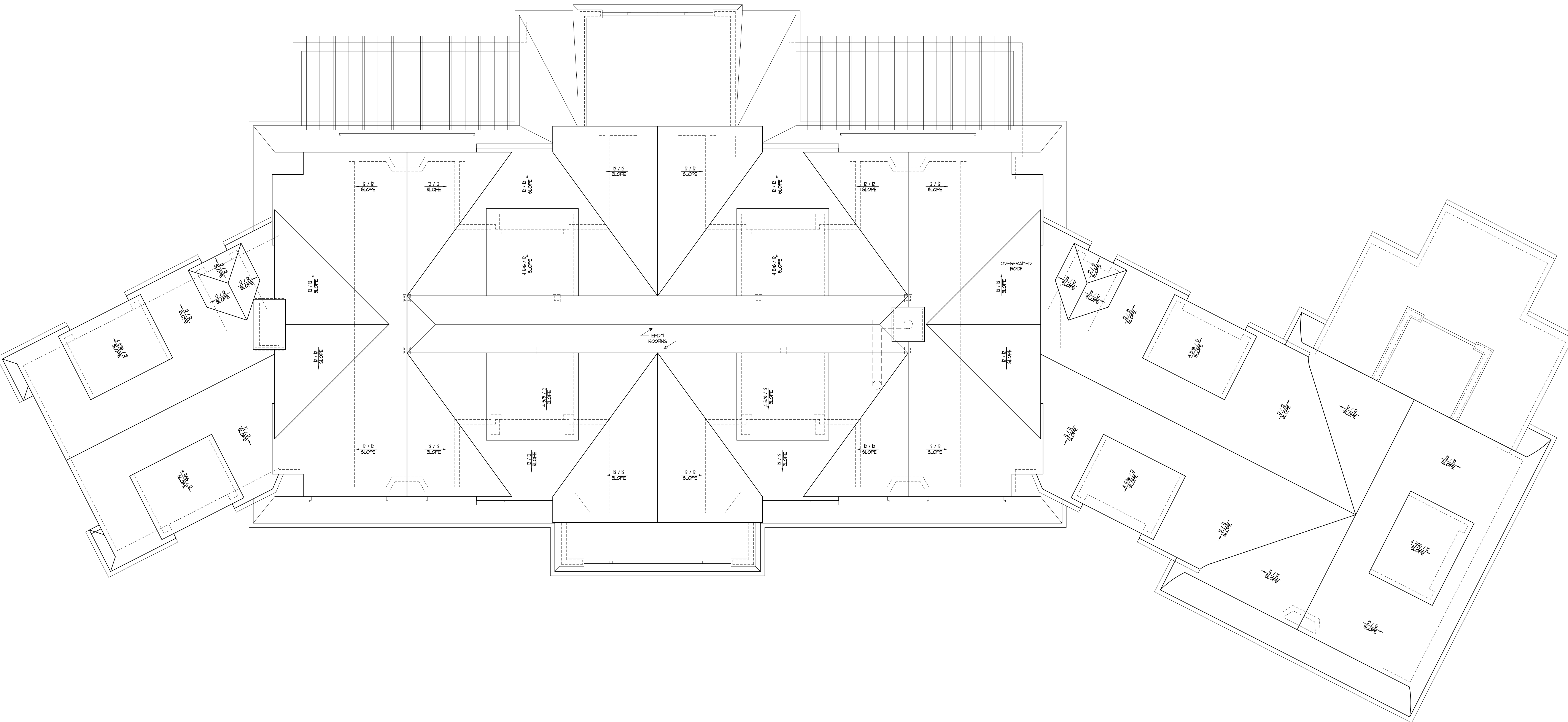




ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



1	ZONING DEPT. COMMENTS	7/15/25
	ZONING SUBMISSION	6/19/25
	PRELIMINARY BID	5/15/25
NO.	REVISIONS / ISSUES	DATE
ANDERSON CAMPANELLA  120 EAST RIVER ROAD RUMSON NJ 07760 TEL: 732-219-0014 FAX: 732-219-0106		
JAMES C. ANDERSON N.J. LIC. AI 11931 FELICIA J. CAMPANELLA N.J. LIC. AI 11797		
PROJECT: NEW RESIDENCE FOR C. DANIEL & SARAH HAAREN 12 EDWARD'S POINT RD. LOT 6, BLOCK 124 RUMSON, NJ		
SHEET TITLE: ATTIC FLOOR PLAN		
SCALE: As NOTED	JOB NO: 2427	
DRAWN: VRP	SHEET NO.:	
CHRD:		A103



1 ROOF PLAN
A104 SCALE : 1/4" = 1'-0"



1	ZONING DEPT.COMMENTS	7/15/25
	ZONING SUBMISSION	6/19/25
	PRELIMINARY BID	5/15/25

NO.	REVISIONS / ISSUES	DATE
-----	--------------------	------

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CAMPANELLA

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07760

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N.J. LIC. AI 11931

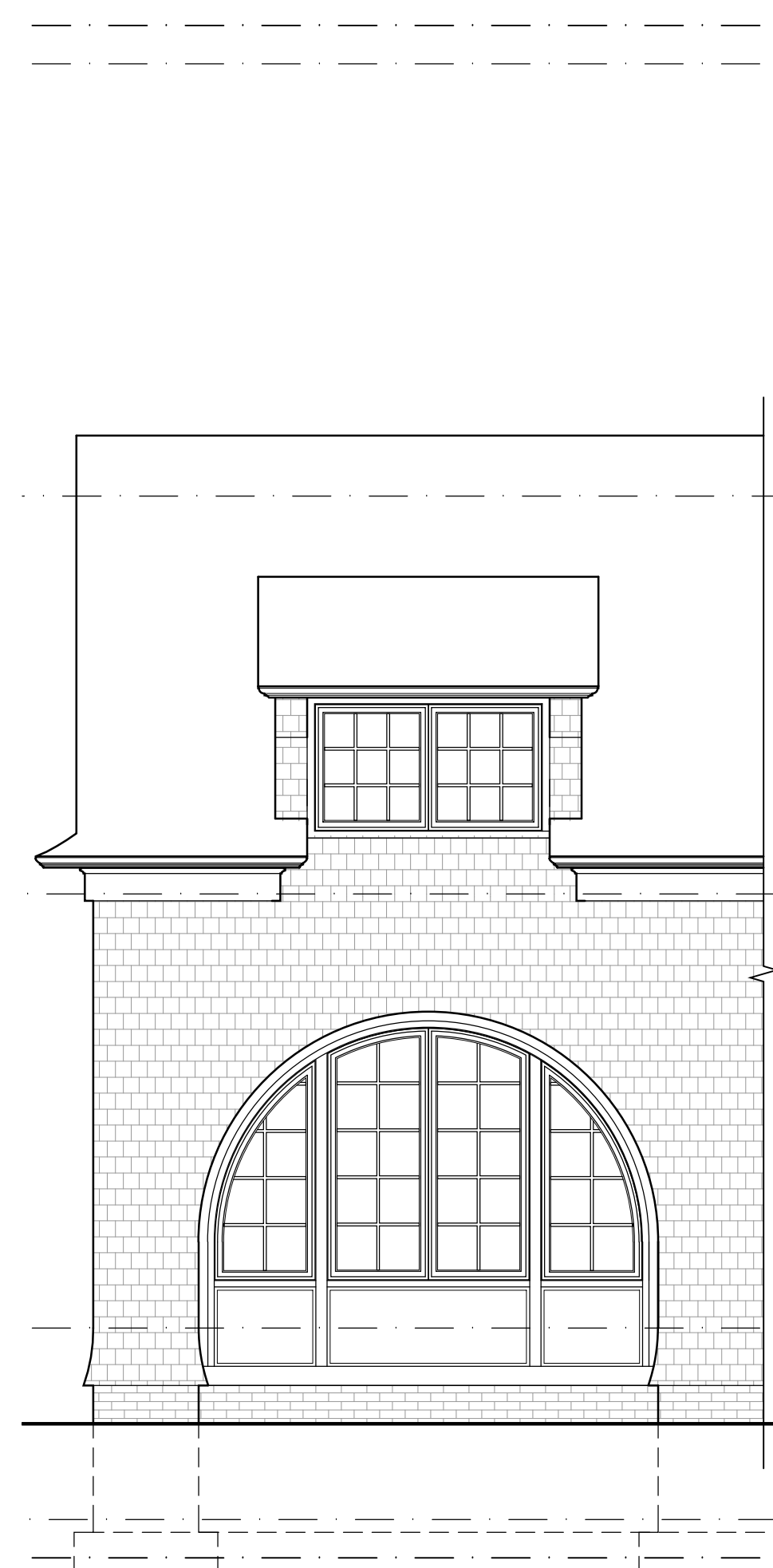
FELICIA J. CAMPANELLA
N.J. LIC. AI 11797

PROJECT:
NEW RESIDENCE FOR
C. DANIEL & SARAH HAAREN
12 EDWARD'S POINT RD.
LOT 6, BLOCK 124
RUMSON, NJ

SHEET TITLE:
ROOF PLAN

SCALE:	JOB NO:
AS NOTED	2427
DRAWN:	SHEET NO.:
VRP	
CHRD:	

A104



1 OFFICE WING
NORTH (EDWARD'S POINT RD) ELEVATION
SCALE : 1/4" = 1'-0"



2 NORTH (EDWARD'S POINT RD) ELEVATION
SCALE : 1/4" = 1'-0"

MAX. ALLOWABLE RIDGE HEIGHT
(FEMA BFE EL. 8 + 40 FT)
EL. = 48 FT (NAVD 1988)

ATTIC FLOOR
T.O. SUBFLOOR
EL. = 10'-4 3/8" ASF

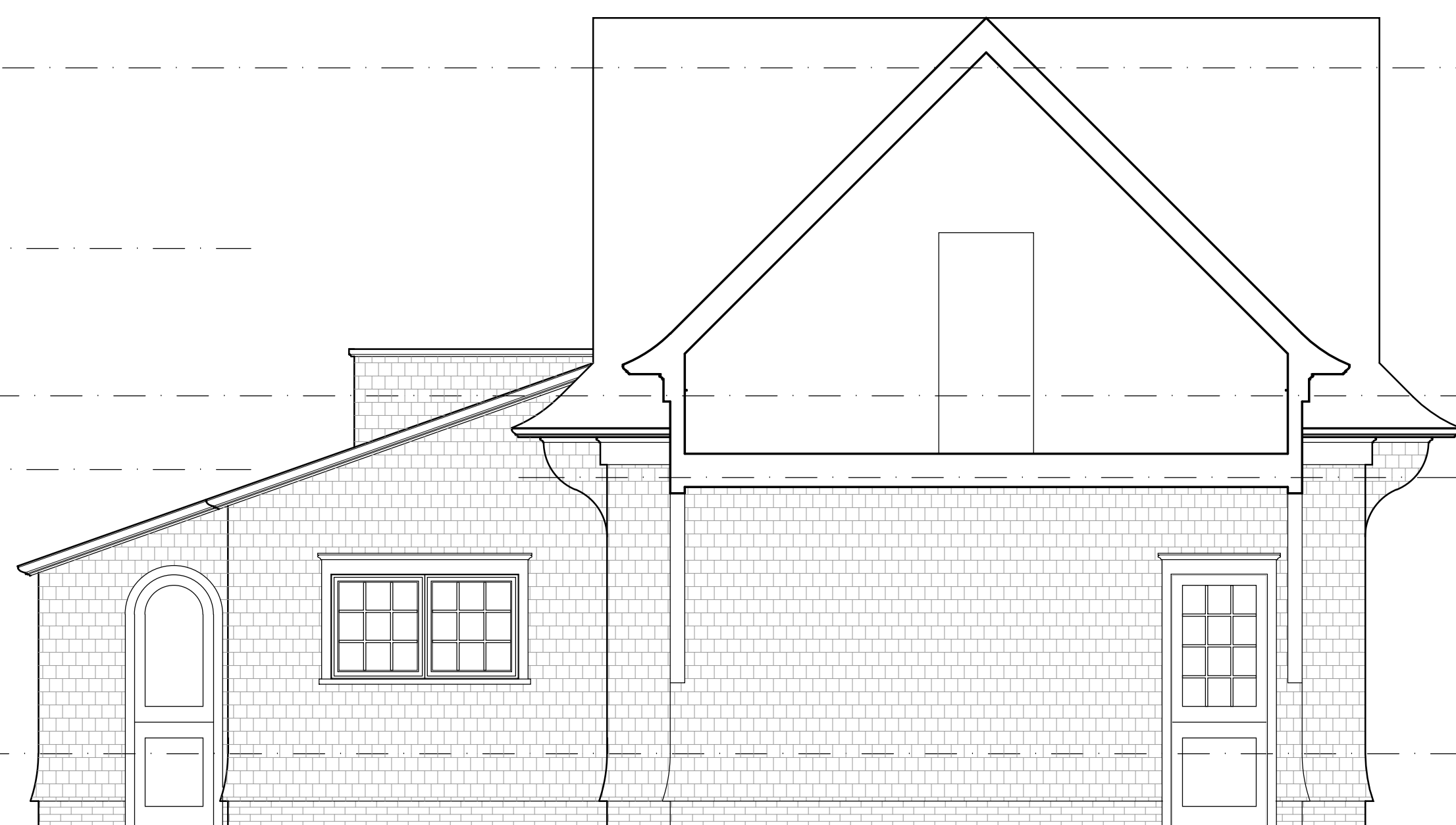
SECOND FLOOR
T.O. SUBFLOOR
EL. = 11'-4" ASF

FIRST FLOOR
T.O. SUBFLOOR
EL. = 0'-0" (+ 14 FT NAVD 1988)

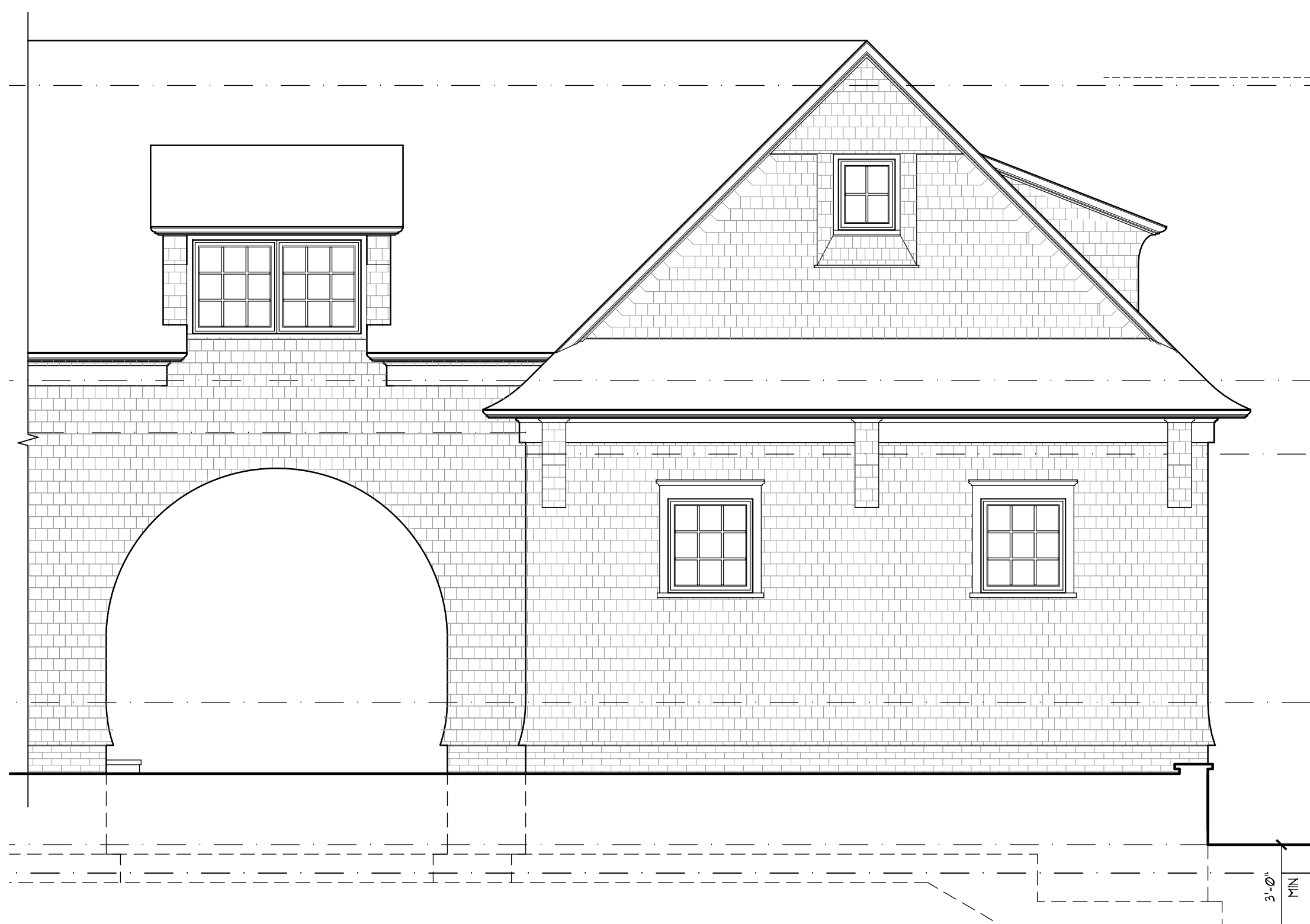
CRAWL SPACE
T.O. CONCRETE SLAB
EL. = - 5'-0" (+ 9.0 FT NAVD 1988)

FEMA MAP No. 34075C0201H
MAP REVISED: JUNE 15, 2022
ZONE AE (EL. 8 FEET)
COMMUNITY MAP No. RUMSON: 345316
(RUMSON ZON. REF. HT. SCH-2 NOTE 3 & 4)

29'-0 1/8" EAVE HT.
33'-0" RIDGE HT.



5 GARAGE WING
EAST ELEVATION
SCALE : 1/4" = 1'-0"



3 GARAGE WING
NORTH (EDWARD'S POINT RD) ELEVATION
SCALE : 1/4" = 1'-0"



4 WEST ELEVATION
SCALE : 1/4" = 1'-0"

1	ZONING DEPT. COMMENTS	7/15/25
	ZONING SUBMISSION	6/19/25
	PRELIMINARY BID	5/15/25
NO.	REVISIONS / ISSUES	DATE
ANDERSON CAMPANELLA AC 120 EAST RIVER ROAD RUMSON NJ 07760 TEL: 732-219-0014 FAX: 732-219-0100 JAMES C. ANDERSON N.J. LIC. AI 11931 FELICIA J. CAMPANELLA N.J. LIC. AI 11797		
PROJECT: NEW RESIDENCE FOR C. DANIEL & SARAH HAAREN 12 EDWARD'S POINT RD. LOT 6, BLOCK 124 RUMSON, NJ		
SHEET TITLE: EXTERIOR ELEVATIONS		
SCALE: AS NOTED	JOB NO.: 2427	
DRAWN: VRP	SHEET NO.:	
CHRD:		A201



1
A202
GARAGE WING
SOUTH (RIVER) ELEVATION
SCALE : 1/4" = 1'-0"



2
A202
SOUTH (RIVER) ELEVATION
SCALE : 1/4" = 1'-0"

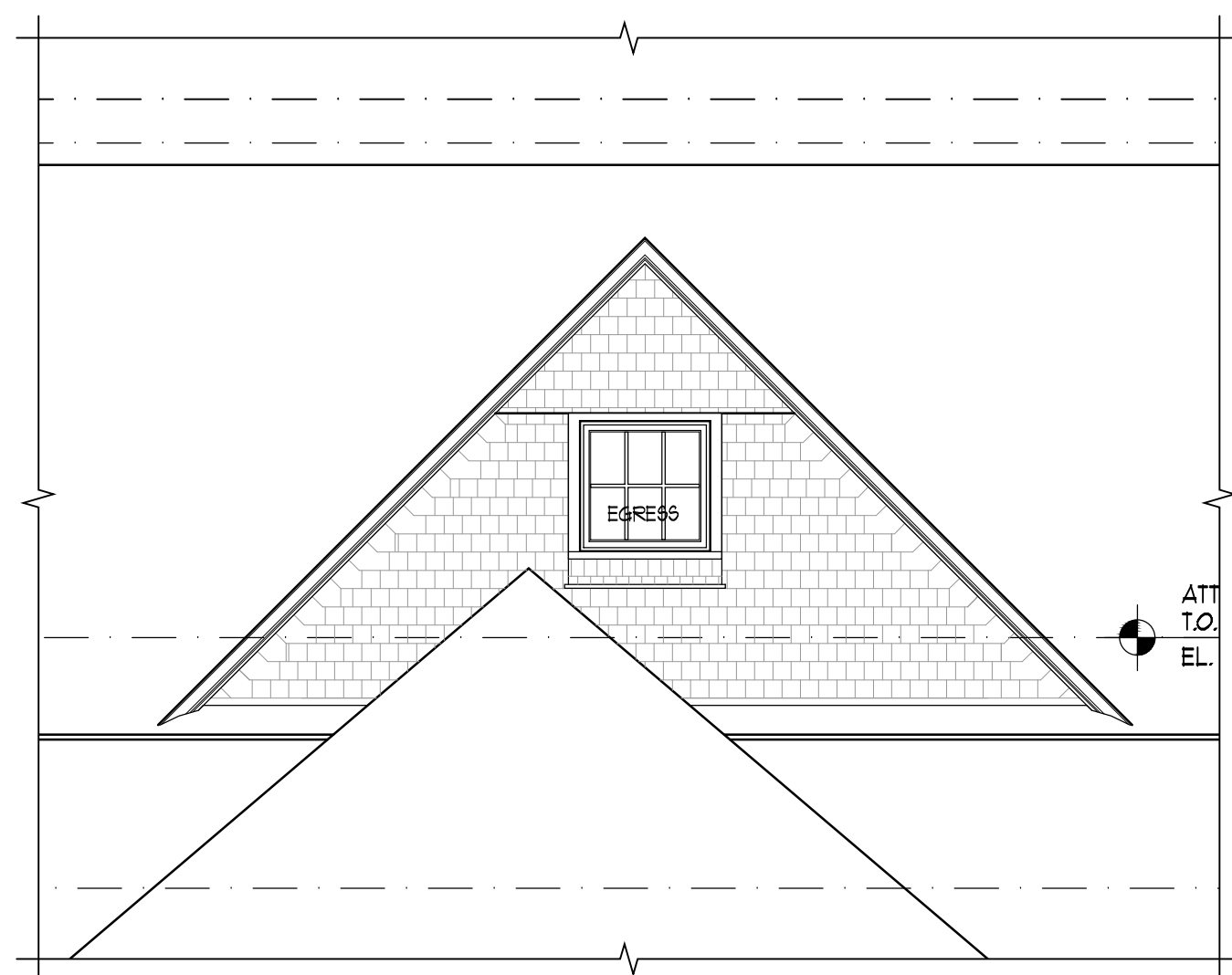
MAX. ALLOWABLE RIDGE HEIGHT
(FEMA SFE, EL. 8 + 40 FT)
EL. + 48 FT (NAVD 1988)

ATTIC FLOOR
T.O. SUBFLOOR
EL. + 10'-4 3/4" ASF

SECOND FLOOR
T.O. SUBFLOOR
EL. + 11'-4" ASF

FIRST FLOOR
T.O. SUBFLOOR
EL. + 0'-0"
(+ 14 FT NAVD 1988)

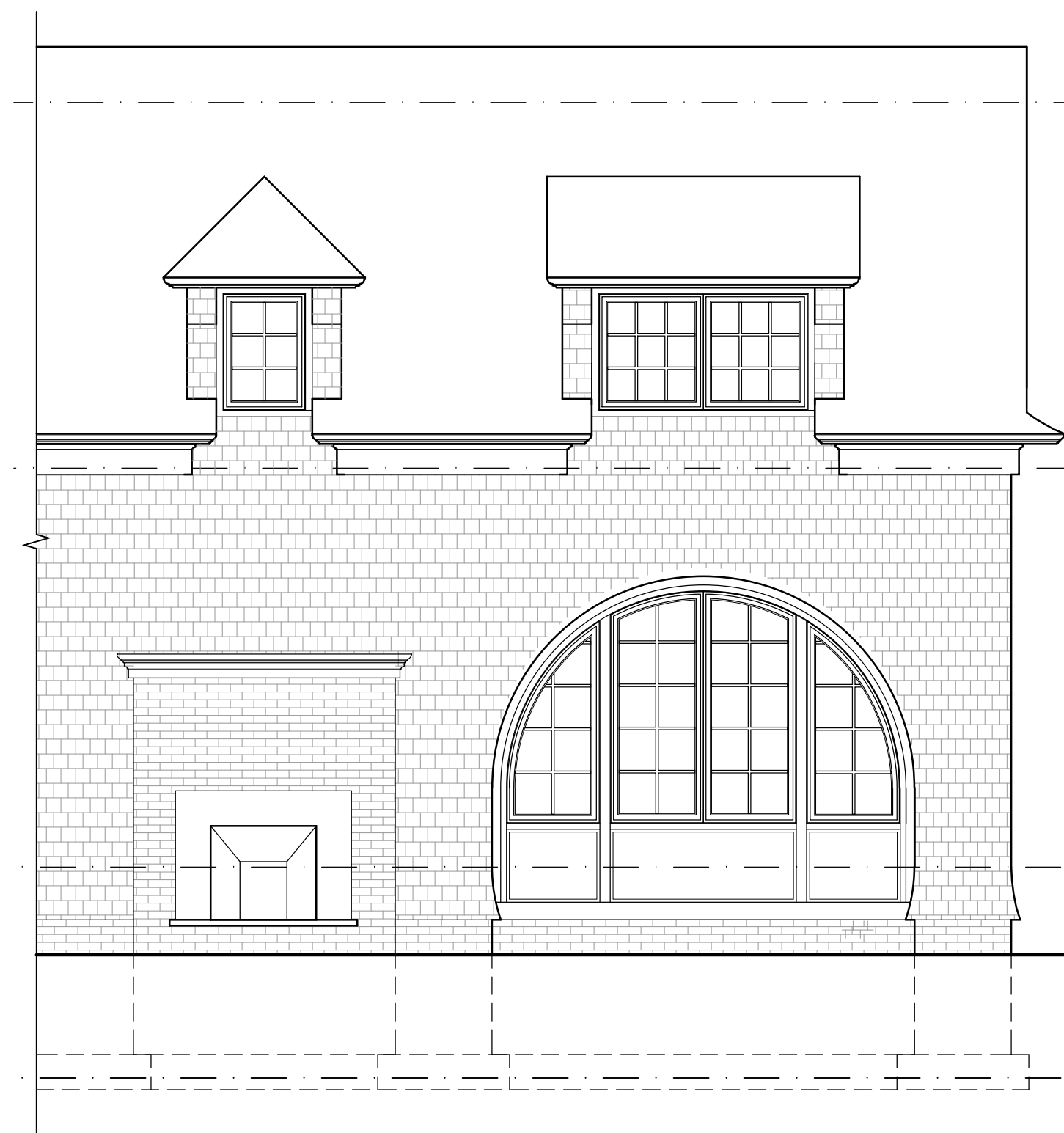
CRAWL SPACE
T.O. CONCRETE SLAB
EL. + - 5'-0" (+ 9.0 FT NAVD 1988)
FEMA MAP No. 34625C02014
MAP REVISED: JUNE 19, 2022
ZONE AE (EL. 5 FEET)
COMMUNITY MAP No. RUMSON: 34536
(RUMSON ZON. REF. HT 5C45-2 NOTE 3 & 4)



5
A202
PARTAIL WEST GABLE ELEVATION
SCALE : 1/4" = 1'-0"



4
A202
EAST ELEVATION
SCALE : 1/4" = 1'-0"



3
A202
OFFICE WING
SOUTH (RIVER) ELEVATION
SCALE : 1/4" = 1'-0"

1	ZONING DEPT. COMMENTS	7/15/25
	ZONING SUBMISSION	6/19/25
	PRELIMINARY BID	5/15/25
NO.	REVISIONS / ISSUES	DATE
ANDERSON CAMPANELLA AC 120 EAST RIVER ROAD RUMSON NJ 07760 TEL: 732-219-0014 FAX: 732-219-0100 JAMES C. ANDERSON N.J. LIC. AI 11931 FELICIA J. CAMPANELLA N.J. LIC. AI 11797		
PROJECT: NEW RESIDENCE FOR C. DANIEL & SARAH HAAREN 12 EDWARD'S POINT RD. LOT 6, BLOCK 124 RUMSON, NJ		
SHEET TITLE: EXTERIOR ELEVATIONS		
SCALE: AS NOTED	JOB NO.: 2427	
DRAWN: VRP	SHEET NO.:	
CHKD:		A202