



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

Rec 9/16/25

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

Matthew and Lauren Jacobson	matthewjacobson4@gmail.com laurenkjacobson@gmail.com	(347) 684-4914
Name of Applicant	Email	Phone Number
172 Rumson Road		84 12
Property Address		Block Lot

Same as Applicant

Name of Owner (IF NOT APPLICANT)

A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.

Rick Brodsky, Esq.

Ansell Grimm & Aaron, PC, 1500 Lawrence Avenue, CN 7807, Ocean, NJ 07712 (732) 922-1000 rbrodsky@ansell.law

Applicant's Attorney and contact information (if any)

Anthony M. Condouris, 20 Bingham Avenue, Rumson, NJ 07760 (732) 842-3800 tony@amcarchitect.com

Applicant's Architect and contact information (if any)

Applicant's Engineer and contact information (if any)

ANSELL GRIMM & AARON, PC, Attorneys for Applicant/Owner

By:

Signature of Applicant or Agent RICK BRODSKY, ESQ.

7/21/25
Date

Proposed plan

Construction of an addition to the existing single-family home, consisting of a proposed two-story addition, patios, covered porches, in-ground pool, pool patio, cabana, modified driveway, 3-car garage, and additional improvements.

Hardship Encountered

The benefits of granting the variances substantially outweigh any detriment, especially where, as here, the oversized lot is a very uniquely shaped, long and narrow "through lot." As such, there are a number of pre-existing non-conformities, mostly driven by that narrow width of the lot. The narrowness of the lot also causes the necessity of the "new" side yard variance relief requested. Notwithstanding same, due to the oversized nature of the property, the application fully complies with lot coverage, building coverage, maximum floor area, and floor area ratio.

Variances Requested

See attached List of Variances

Application of Matthew and Lauren Jacobson

172 Rumson Road

Block 84, Lot 12

Zone R-1

LIST OF VARIANCES

The following variances will be required in connection with this application:

Section 22, Schedule 5-1: Minimum Side Yard Setback of 40 feet is required, where 20 feet is existing and 19.5 feet is proposed.

Section 22, Schedule 5-1: Minimum combined side yard setback of 80 feet is required, where 60.2 feet is existing and 50.5 feet is proposed.

The following pre-existing non-conformities will remain unchanged:

Section 22, Schedule 5-1: Minimum Lot Width/Lot Frontage of 200 feet is required, where 120 feet is existing and no change is proposed.

Section 22, Schedule 5-1: Minimum Side Yard Setback of Accessory Building (Gym/Garage) of 15 feet is required, where 1.9 feet is existing and no change is proposed.

Section 22, Schedule 5-1: Minimum Side Yard Setback of Accessory Building (Shed) of 15 feet is required, where 1.29 feet is existing and no change is proposed.

Maximum Aggregate Square Footage of 1,400 square feet for Accessory buildings, where 2,386 square feet is existing and no change is proposed.

Interior Lot Shape Circle of 115 feet is required, where the existing lot shape circle is non-compliant and no change is proposed.



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Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: July 9, 2025

Applicant: Matthew & Lauren Jacobson
Address: 172 Rumson Road, Rumson, NJ 07760
Block 84, Lot 12, Zone: R-1

I have reviewed the Land Use & Development Permit application for the construction of additions to the existing nonconforming family home creating the need for variances. Additional improvements that conform to Borough Ordinances include an in-ground pool, hot tub, attached cabana, patios, and driveway revision (the new parking in the front yard is beyond the front yard setback).

The oversized property is uniquely shaped and does not conform in lot frontage, width, or lot shape diameter. The existing principal dwelling, built in 1904, is nonconforming with minimum and combined side yard setbacks and a third story. The three additions to the principal dwelling (on the northeast, southeast, and west sides) each encroach on the side yard setbacks. There are several nonconforming buildings and structures on the property (related to side yard setbacks only) that remain unchanged including the existing garage/gym, shed at the end of the driveway, shed behind the gym, rental cottage (legally grandfathered use), the playhouse and the existing driveway not 5' from the property line.

The application was **denied** for the following non-conformities:

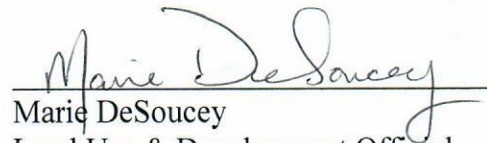
Borough of Rumson Ordinances/Development Regulations Schedule 5-1 Zoning District Regulations

- (Schedule 5-1) Minimum side yard setback of (19.5', 31', 31.4', 31.4') where 40' is required and (20' west, 39.9' east) exists.
- (Schedule 5-1) Minimum combined side yard setback of 50.5' where 80' is required and 60.2 exists.

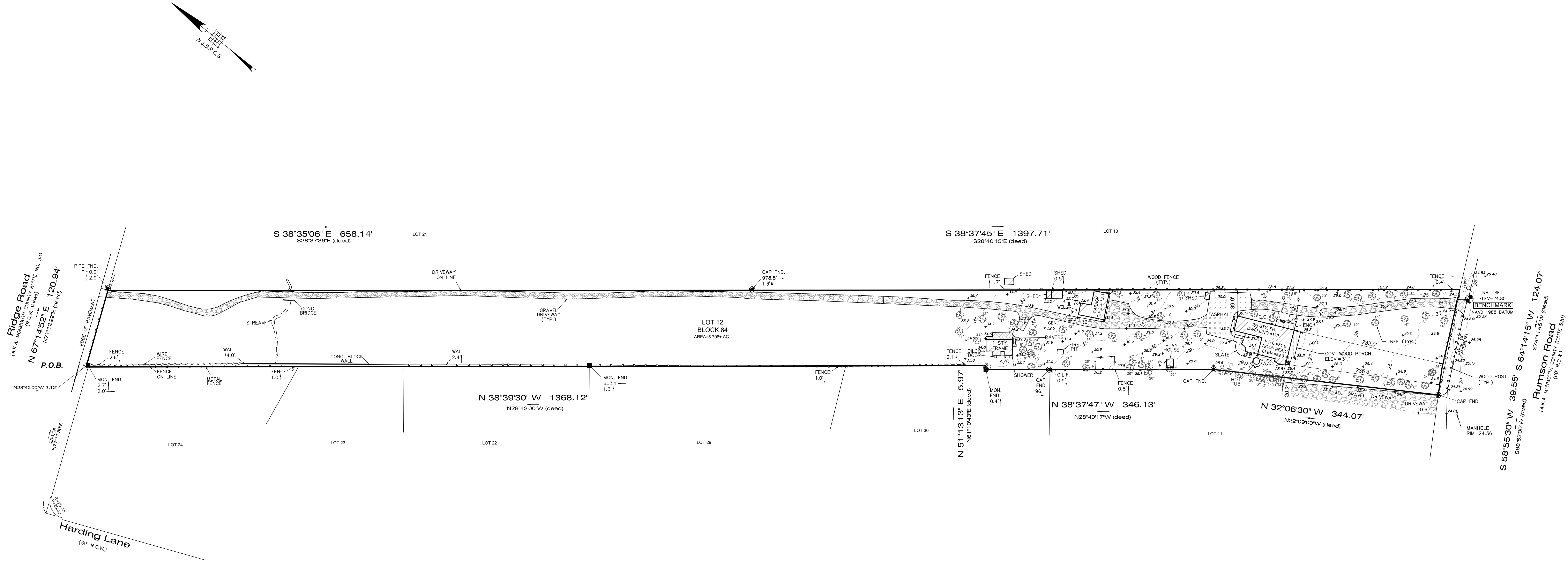
Supporting documents to the application include:

- Boundary & Partial Topographic Survey prepared, signed & sealed by David A Von Steenburg, PLS, dated October 24, 2024, consisting of one sheet.
- Architectural Plans prepared, signed & sealed by Anthony Condouris, Arch, dated February 4, 2025, rev (1) March 29, 2025, consisting of six (6) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant



PREPARED FOR: *MATHEW JACOBSON AND LAUREN JACOBSON*
NOTE:
ALL ELEVATIONS ARE IN NAVD88 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
IMPORTANT NOTES, PLEASE REVIEW:
• I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 10/24/24 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
• THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS THE LAND ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
• OTHER IMPROVEMENTS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREIN ARE NOT TO BE USED TO RESTATEMENT PROPERTY LINES.
• THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
• PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:46-5.10(f))

MORGAN
engineering & surveying
www.morganengineeringllc.com

CERTIFICATE OF AUTHORIZATION: 24GA28228800
P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9890
FAX: 732-270-9891

DAVID J. VONSTEENBURG
PROFESSIONAL LAND SURVEYOR
N.J. LIC. No. 34500

BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY

LOT 12 BLOCK 84
BOROUGH OF RUMSON
COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=60'	Drawn By: DVP	Date: 10/24/24	JOB #: 224-00490	CAD File # TOPO	Sheet # 1 OF 1
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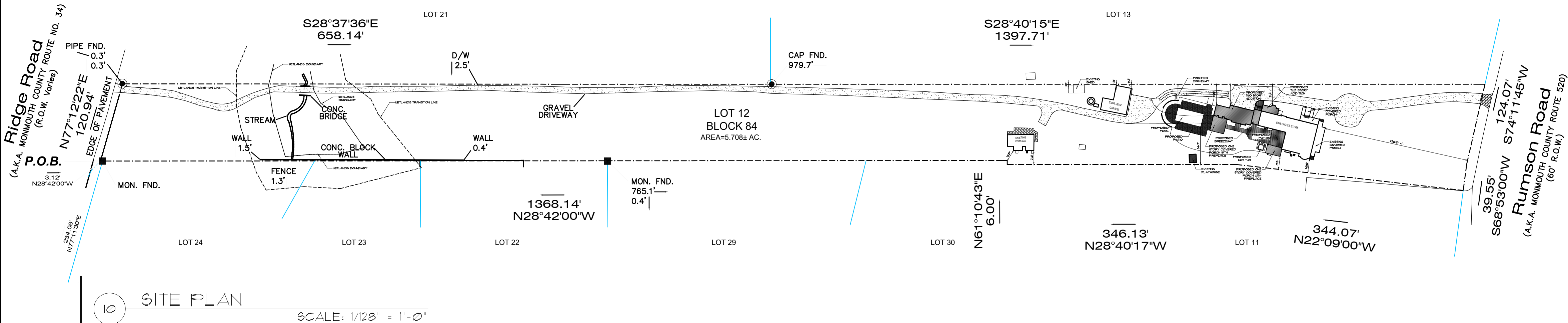
ADDITIONS AND RENOVATIONS FOR
The JACOBSON RESIDENCE
172 RUMSON ROAD, RUMSON, NEW JERSEY
BLOCK 84 ~ LOT 12

LOT COVERAGE CALCULATIONS		
	EXISTING	PROPOSED
MAIN HOUSE	3,731 SQ. FT.	6,221 SQ. FT.
FRONT PORCH	563 SQ. FT.	563 SQ. FT.
COTTAGE	871 SQ. FT.	871 SQ. FT.
GYM / GARAGE	1,226 SQ. FT.	1,226 SQ. FT.
SHED	290 SQ. FT.	290 SQ. FT.
PATIOS	1,397 SQ. FT.	3,991 SQ. FT.
POOL	N/A	800 SQ. FT.
DRIVEWAY	25,517 SQ. FT.	24,812 SQ. FT.
SUB TOTAL (PRE CREDITS)	33,560 SQ. FT.	38,646 SQ. FT.
FRONT PORCH CREDIT 10% GROUND FLOOR AREA	-308 SQ. FT.	-469 SQ. FT.
PATIO CREDIT 30% GROUND FLOOR AREA	-924 SQ. FT.	-1,407 SQ. FT.
TOTAL LOT COVERAGE	32,228 SQ. FT.	36,710 SQ. FT.

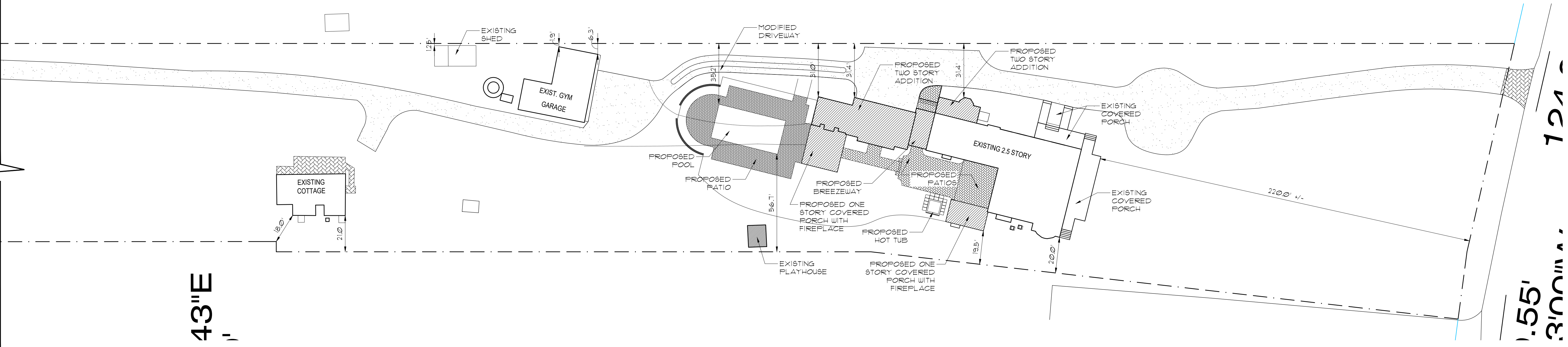
BUILDING COVERAGE CALCULATIONS		
	EXISTING	PROPOSED
MAIN HOUSE	3,731 SQ. FT.	6,221 SQ. FT.
FRONT PORCH	563 SQ. FT.	563 SQ. FT.
COTTAGE	871 SQ. FT.	871 SQ. FT.
GYM / GARAGE	1,226 SQ. FT.	1,226 SQ. FT.
SHED	290 SQ. FT.	290 SQ. FT.
SUB TOTAL (PRE CREDITS)	6,691 SQ. FT.	9,811 SQ. FT.
FRONT PORCH CREDIT 10% GROUND FLOOR AREA	-308 SQ. FT.	-469 SQ. FT.
TOTAL BUILDING COVERAGE	6,383 SQ. FT.	8,712 SQ. FT.

FLOOR AREA CALCULATIONS		
	EXISTING	PROPOSED
FIRST FLOOR (INSIDE WALLS)	3,080 SQ. FT.	4,694 SQ. FT.
SECOND FLOOR (INSIDE WALLS)	2,664 SQ. FT.	3,988 SQ. FT.
THIRD FLOOR (INSIDE WALLS)	1,222 SQ. FT.	1,222 SQ. FT.
COTTAGE (INSIDE WALLS)	875 SQ. FT.	875 SQ. FT.
GYM / GARAGE (INSIDE WALLS)	1,174 SQ. FT.	1,174 SQ. FT.
SHED (INSIDE WALLS)	266 SQ. FT.	266 SQ. FT.
TOTAL FLOOR AREA	9,231 SQ. FT.	12,169 SQ. FT.
60% OF SECOND FLOOR AREA	1,598	2,393
ATTIC AREAS ABOVE 5 FEET HEIGHT (LESS THAN 60% REQUIRED)	1,712 (6.42%)	1,712 (4.28%)

Borough of Rumson Interior Lot			
Zone: R-1	Date: 12/3/24		
Applicant:	Block: 84		
Address: 172 RUMSON ROAD	Lot: 12		
	REQUIREMENTS	EXISTING	PROPOSED
Minimum Lot Area	15 Ac	5.7 Ac (245,639 SF)	5.7 Ac (245,639 SF)
Buildable Lot Area		5.5 Ac (244,421 SF)	5.5 Ac (244,421 SF)
Minimum Lot Width/Lot Frontage	200 ft	120 ft	120 ft
Interior Lot Shape Circle	115 ft	NON-COMPLIANT	NON-COMPLIANT
Principal Structure	Buildg/Forch	Buildg/Forch	Buildg/Forch
Front Yard Setback	120 ft	2321 ft	2321 ft
Minimum Side Yard setback			
One Side	40 ft	20 ft	19.5 ft
Total Both Sides	80 ft	602 ft	50.9 ft
Minimum Rear Yard setback	50 ft	1729 ft	16630 ft
Building Height			
Ridge	40 ft/25 STY	30.5 ft/19 STY	30.5 ft/19 STY
Eaves	26 ft	21.9 ft	21.9 ft
Accessory Building (COTTAGE)			
Minimum Side Yard setback	15 ft	15 ft	N/C
Rear Yard setback	15 ft	1492.4 ft	N/C
Height	24 ft	N/A	N/C
Accessory Building (GYM/GARAGE)			
Minimum Side Yard setback	15 ft	15 ft	15 ft
Rear Yard setback	15 ft	1492.4 ft	1492.4 ft
Height	24 ft	< 24 ft	< 24 ft
Accessory Building (SHED)			
Minimum Side Yard setback	15 ft	129 ft	129 ft
Rear Yard setback	15 ft	1492.4 ft	1492.4 ft
Height	24 ft	< 24 ft	< 24 ft
MAX AGGREGATE SF OF ACCESSORY BUILDINGS	1400 SF	2386 SF	2386 SF
Accessory Structure (POOL)			
Minimum Side Yard setback	15 ft	N/A	35.2 FT
Minimum Rear Yard setback	15 ft	N/A	1542 FT
Permitted Lot Coverage, Building Coverage Floor Area			
Max Lot Coverage	38.949 sf	32,228 SQ. FT.	36,710 SQ. FT.
Max Build Coverage	12,169 sf	6,383 SQ. FT.	8,712 SQ. FT.
Maximum Floor Area	14,469 sf	9,231 SQ. FT.	12,169 SQ. FT.
Floor Area Ratio	0.064	0.041	0.054
(>) Lot Coverage (Schedule 5-4) 24,421-150,000 + 14,421 + 0.0350 + 2,609 2,609 + 3,975 + 12,160			
(>) Building Coverage (Schedule 5-4) 24,421-150,000 + 14,421 + 0.0350 + 2,609 2,609 + 3,975 + 12,160			
(>) Floor Area (Schedule 5-3) 24,421-150,000 + 14,421 + 0.0667 + 4,564 4,564 + 3,975 + 14,469			



10 SITE PLAN
SCALE: 1/128" = 1'-0"



10 PARTIAL SITE PLAN
SCALE: 1" = 30'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BEFORE THE START AND COMPLETION OF WORK.

ANTHONY M. COONDOURIS ARCHITECT

20 BINGHAM AVENUE, RUMSON, NJ 07760
PHONE: 732-842-3800 ~ FAX: 732-842-7777 ~ email: info@amcarchitect.com ~ www.amcarchitect.com

REVISIONS

DATE

ADJUSTMENTS PER ZONING REVIEW

3-19-25

CLIENT

JACOBSON RESIDENCE

ADDRESS

172 RUMSON ROAD
RUMSON, NEW JERSEY

JOB NUMBER

24-162

LOT

12

DRAWN BY

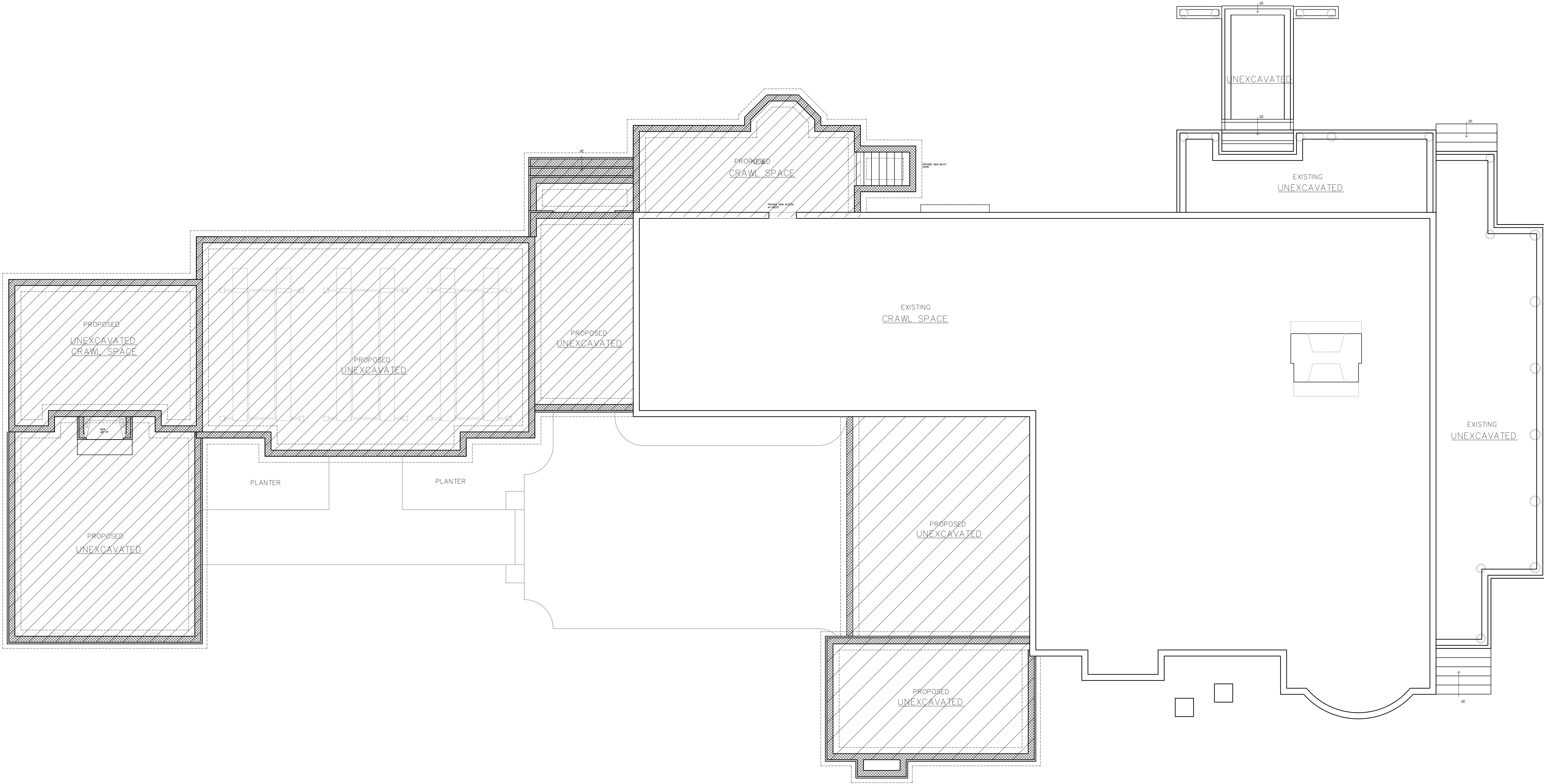
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DATE

2/4/25

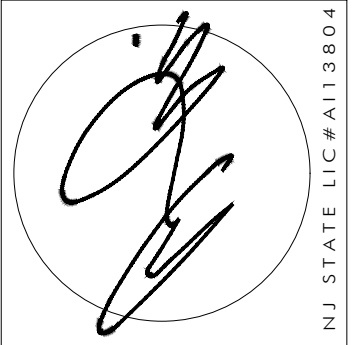
SHEET NO.

V-1



10 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

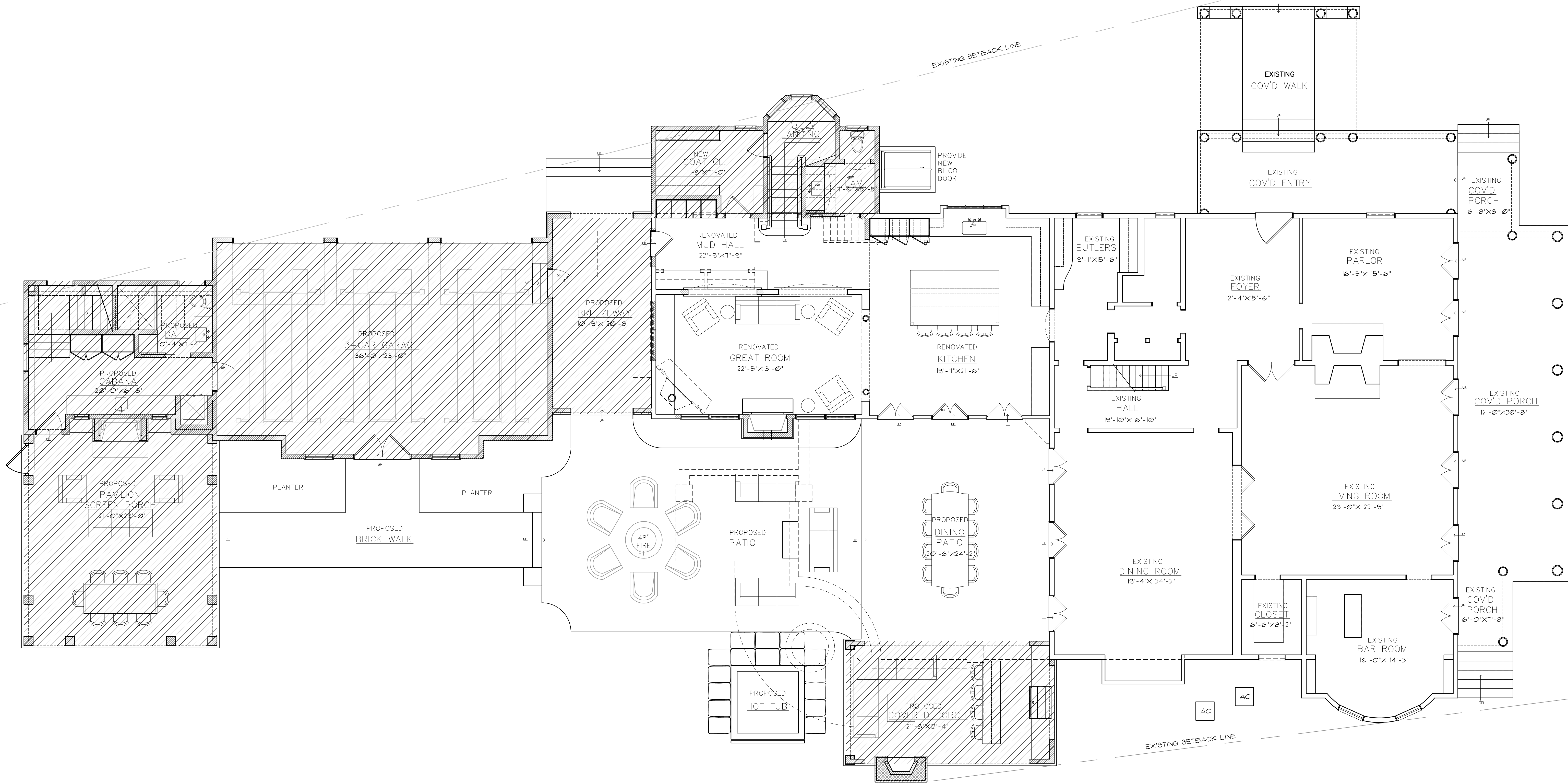


A N T H O N Y M. C O N D O U R I S
ARCHITECT
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REVISIONS	DATE
ADJUSTMENTS PER ZONING REVIEW	3-23-25

CLIENT	JACOBSON RESIDENCE
ADDRESS	172 RUMSON ROAD RUMSON NEW JERSEY
JOB NUMBER	24-162
BLOCK	84
LOT	12

DATE	2/4/25
DRAWN BY	MB
SHEET NO.	V-2



10 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

PARTITION LEGEND	
---	WALLS TO BE DEMOLISHED
---	EXISTING WALLS
---	NEW WALLS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

DATE
2/4/25

DRAWN BY
MB

CLIENT
JACOBSON RESIDENCE

ADDRESS
172 RUMSON ROAD
RUMSON NEW JERSEY

JOB NUMBER
24-162

SHEET NO.
V-3

REVISIONS
DATE
ADJUSTMENTS PER ZONING REVIEW
3-23-25

ANTHONY M. CONDOURIS

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12

84

12

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BLOCK

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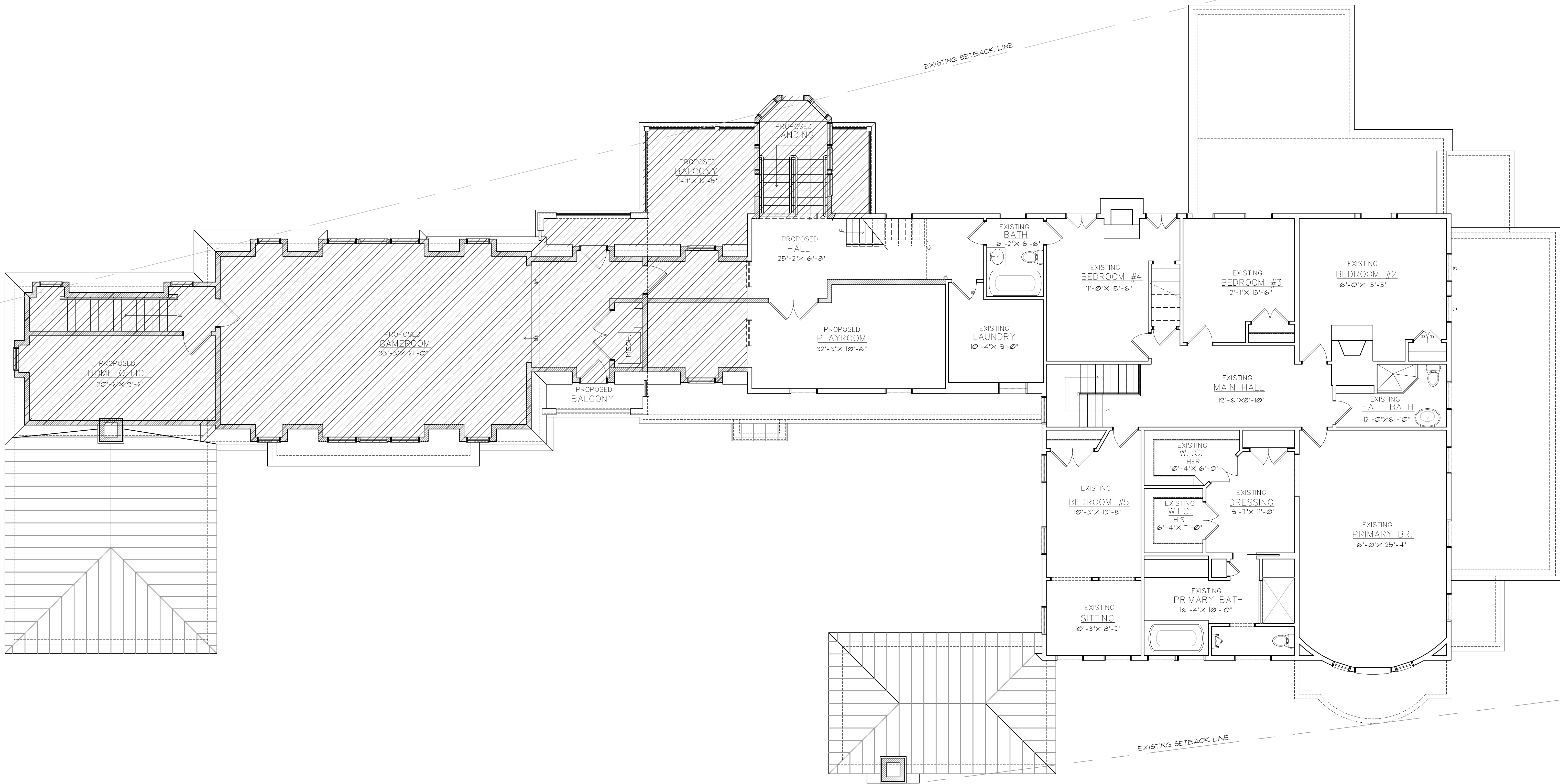
84

12

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BLOCK

LOT



10 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

PARTITION LEGEND	
----	WALLS TO BE DEMOLISHED
=====	EXISTING WALLS
=====	NEW WALLS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

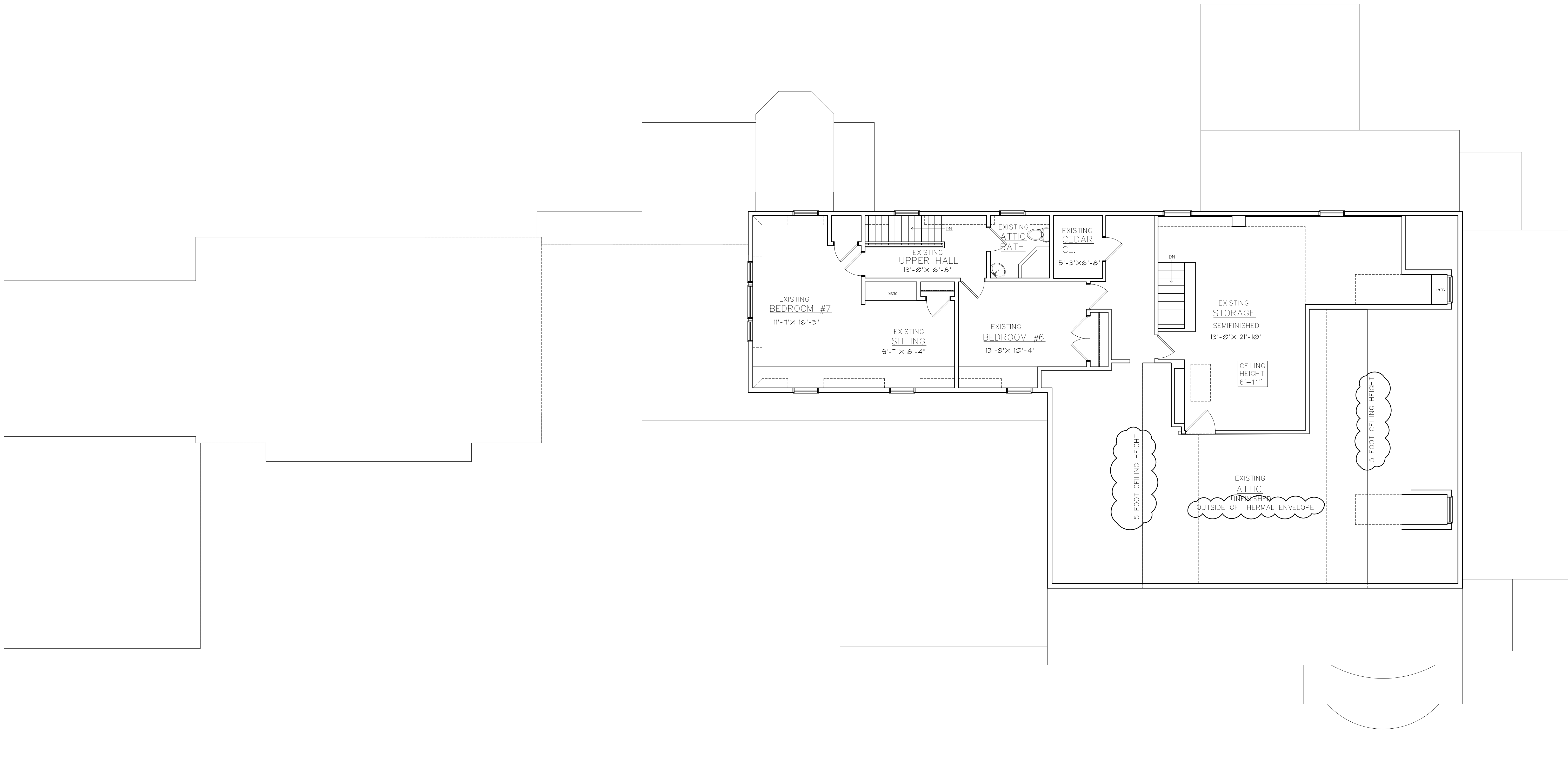


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NJ STATE LIC # A13804

REVISIONS	DATE
Δ	ADJUSTMENTS PER ZONING REVIEW 3-23-25

CLIENT	JACOBSON RESIDENCE
ADDRESS	172 RUMSON ROAD RUMSON, NEW JERSEY
JOB NUMBER	24-162
BLOCK	84
LOT	12

DATE	2/4/25
DRAWN BY	MB
SHEET NO.	V-4



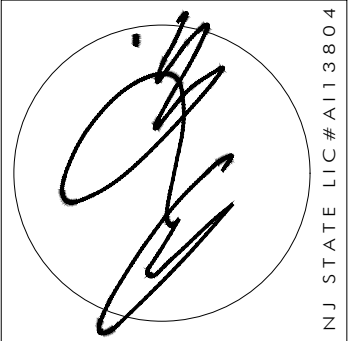
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ATTIC PLAN

SCALE: 3/16" = 1'-0"

PARTITION LEGEND	
----	WALLS TO BE DEMOLISHED
=====	EXISTING WALLS
=====	NEW WALLS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



A N T H O N Y M. C O N D O U R I S
A R C H I T E C T
- Z C
2 0 B I N G H A M A V E N U E , R U M S O N N J 0 7 7 6 0
phone-732-842-3800 ~ fax-732-842-7777 ~ email-info@amcarchitect.com ~ www.amcarchitect.com

Δ	REVISIONS	DATE
Δ	ADJUSTMENTS PER ZONING REVIEW	3-23-25

CLIENT	JACOBSON RESIDENCE
ADDRESS	172 RUMSON ROAD RUMSON NEW JERSEY
JOB NUMBER	24-162
BLOCK	84
LOT	12

DATE	2/4/25
DRAWN BY	MB
SHEET NO.	V-5



40 LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



20 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

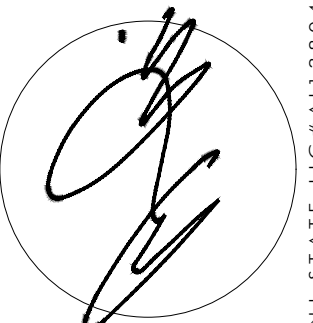


30 REAR ELEVATION
SCALE: 3/16" = 1'-0"



10 RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.


-ZC

ARCHITECT
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DATE	2/4/25	SHEET NO.	V-6
DRAWN BY	MB	CLIENT	JACOBSON RESIDENCE
REVISIONS	DATE	ADJUSTMENTS PER ZONING REVIEW	3-23-25
Δ			
Δ			
ADDRESS	172 RUMSON ROAD RUMSON, NEW JERSEY	BLOCK	84
JOB NUMBER	24-162	LOT	12