



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

Bobby & Ellen Ojeda ekoj21@aol.com 732-245-3004
Name of Applicant Email Phone Number

19 Highland Ave. 49 36
Property Address Block Lot

N/A
Name of Owner (IF NOT APPLICANT)
A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.

NA
Applicant's Attorney and contact information (if any)

Carol C. Hewit, PE, AIA cardhewit@gmail.com 908-451-3161
Applicant's Architect and contact information (if any)

Carol C. Hewit, PE, AIA cardhewit@gmail.com 908-451-3161
Applicant's Engineer and contact information (if any)

Signature of Applicant or Agent Date

Proposed plan Add a garage with a partial second floor above for a master Bath and closets. The site work includes adding a pool, patio & converting old garage into a sunroom. The driveway will be relocated and made smaller.

Hardship Encountered Since the front yard is on Riverview Ave. with the front door located there, the lot is unbuildable as the required lot width/

lot frontage secondary is 75' and the existing is 50', then that leaves us with (-) 20' which cannot be built on.

Variances Requested: Coverage - Required 1759 SF BMT 1557 SF Proposed 2070 SF
- Required 2958 SF BMT 2231 SF Proposed 3127 SF / 381

Lot width / lot frontage secondary - Required 75', exist 50', proposed 50'

Primary Front Yard Setback - Required 35', exist 12', proposed 12.35'

Min rear yard setback - Required 35', exist 12', proposed 8'

Pool in front yard - Required 35', exist N/A, proposed 18'



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Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: May 28, 2025, *updated July 1, 2025*

Applicant: Bobby & Ellen Ojeda

Address: 19 Highland Avenue, Rumson, NJ 07760
Block 49, Lot 36, Zone: R-5

Applicant's Request to:

Construct new attached, two-car garage with second story living area above, and in-ground pool. The corner lot is nonconforming in frontage, property width and lot shape circle.

Was **denied** for the preliminary reasons listed below.

Borough of Rumson Ordinances/Development Regulations - Schedule 5-1 Zoning District Regulations, Schedule 5-4 Maximum Floor Area / FAR and Schedule 5-4 Maximum Permitted Lot & Building Coverage

		<u>Permitted</u>	<u>Existing</u>	<u>Proposed</u>	
1	Sched 5-3: Floor Area Ratio	0.36		0.38	New
2	Sched 5-3: Floor Area (SF)	2,958 SF	2,231 SF	3,127 SF (169 SF over)	New (5.7 % over)
3	Sched 5-4: Building Coverage (SF)	1,759 SF	1,557 SF	2,090 SF (331 SF over)	New
4	Sched 5-1: Front Yard Setback / Porch	35' / 30'	12' / 8'	12.35' @ addition	Existing, intensified
5	Sched 5-1: Rear Yard Setback	35'	7.7' / 12.3'	8' @ addition	Existing, intensified
6	Location of pool in side/secondary front yard	No	n/a	Yes	New
	<u>Existing Lot Nonconformities</u> Lot Shape Circle	33'	<0'	No Change	

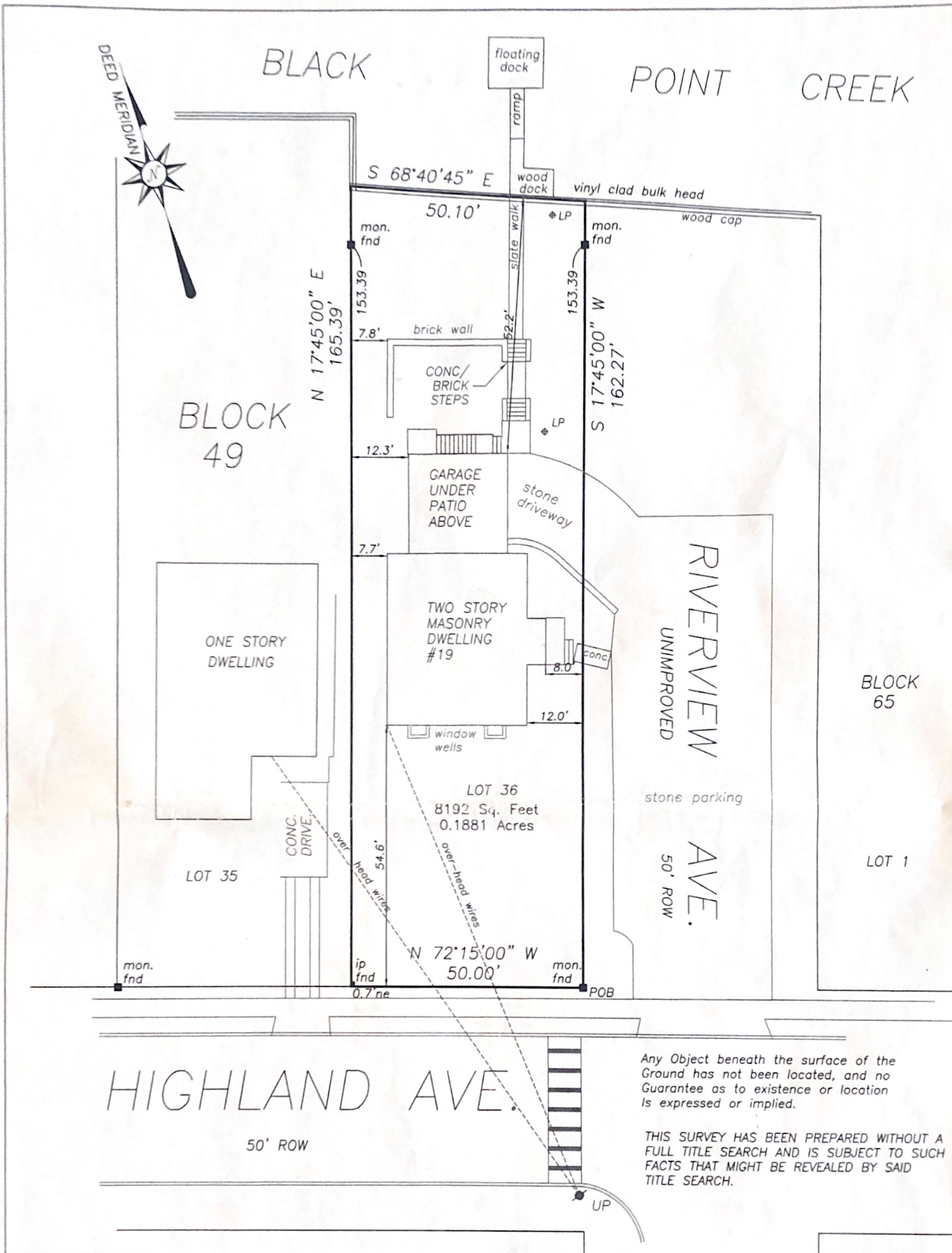
The variances identified above were evaluated based on the plans prepared by CCH Architect & Engineering, signed & sealed by Carol C. Hewit, PE, AIA, dated May 30,

2025, no revisions, consisting of three (3) sheets and Location Survey, Lot 36 in Block 49, prepared by Richard E. Stockton & Assoc. Inc., signed & sealed by Richard E. Stockton, PLS, dated June 10, 2020.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant



Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.

THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUBJECT TO SUCH FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.

LOCATION SURVEY FOR:
ROBERT OJEDA and ELLEN OJEDA
Being Lot 36 Block 49, as shown on the tax assessment map for the Borough of Rumson, Monmouth County, New Jersey. More commonly known as 19 Highland Ave., Rumson, New Jersey.
I hereby certify to the above mentioned owners, Robert Ojeda and Ellen Ojeda.
This survey has been accurately prepared with the best of my information, knowledge and belief. No apparent encroachments exist either way across property lines except as shown hereon.

Richard E. Stockton & Assoc., Inc.
Surveying & Mapping <> Land Planning <> Construction Surveying
PO Box 124, Atlantic Highlands, NJ 07716

Richard E. Stockton

RICHARD E. STOCKTON
Licensed Professional Land Surveyor
New Jersey License No. 15102

JOB: 7994
SCALE: 1" = 20'
CAD: 0-7994.dwg

DATE: 6-10-20
DWG: B-2651

POINT

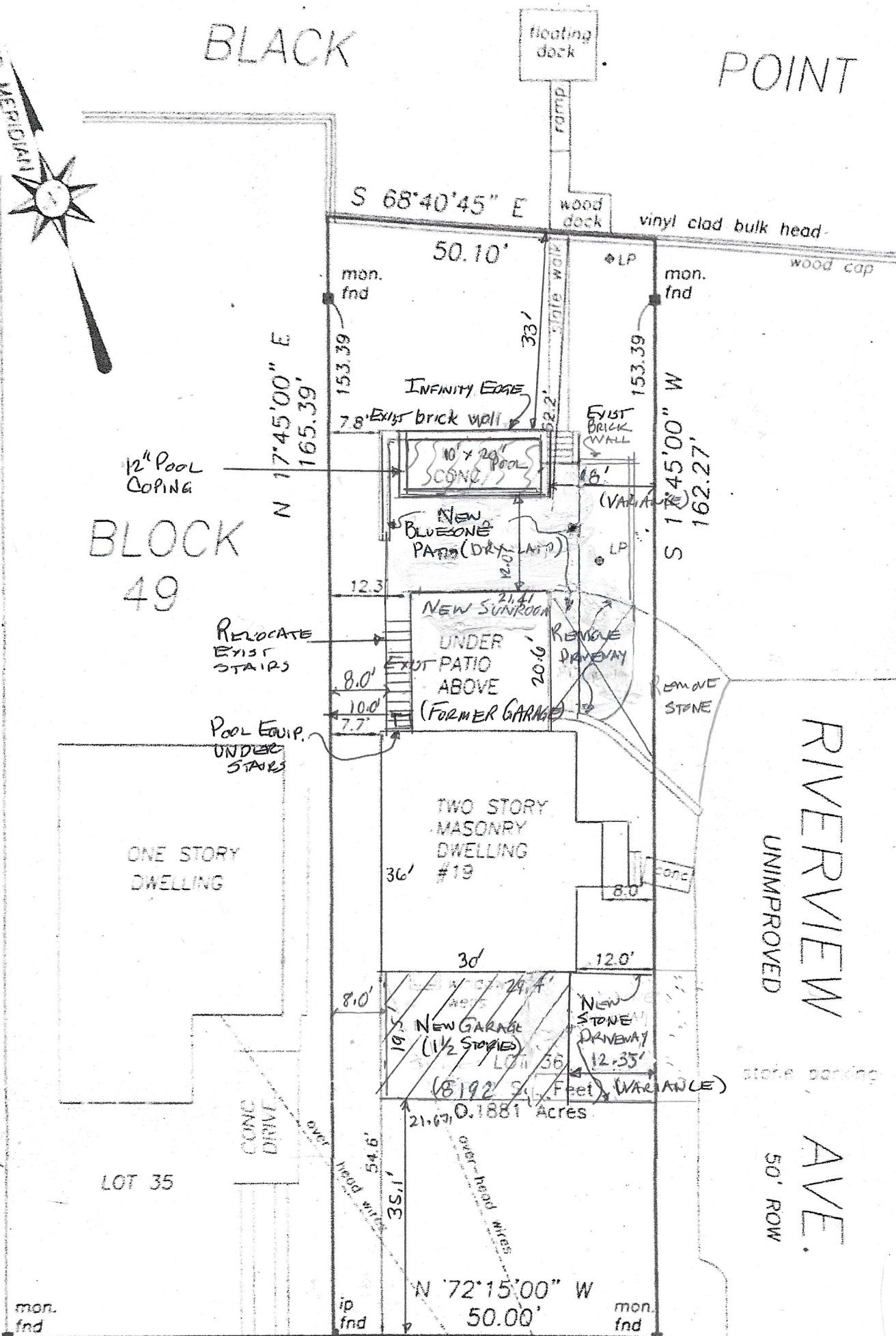


BLOCK
49

RIVERVIEW AVE.

UNIMPROVED

50' ROW



OJEDA RESIDENCE

19 HIGHLAND AVENUE,
RUMSON, NEW JERSEY

SCHEDULE OF DRAWINGS

GN1	TITLE SHEET - ZONING DATA - CODE DATA, INDEX OF DRAWINGS
	GENERAL NOTES & SECTION
A1	FLOOR PLANS
A2	ELEVATIONS

CODE DATA

BLOCK	49
LOT NO.	36
BUILDING USE GROUP:	R-5 RESIDENTIAL SINGLE FAMILY
CONSTRUCTION CLASSIFICATION:	TYPE Vb IRC 2021 NJ
FIRE SUPPRESSION:	NOT REQUIRED AND NOT PROVIDED

AREAS ADDED

GARAGE	573 SF	0 CF
SECOND FLOOR	353 SF	2824 CF

LEGEND

	EXISTING PARTITION WALLS TO REMAIN
	EXISTING PARTITION WALLS TO BE REMOVED
	NEW PARTITION WALLS
	NEW CMU WALL
	EGRESS WINDOW
	SHEAR WALL: 1/2" PLYWOOD ON THE INSIDE

STRUCTURAL DESIGN CRITERIA

1ST FLOORS LIVE LOAD	40 LBS/SQ FT
1ST FLOORS DEAD LOAD	10 LBS/SQ FT
2ND FLOOR LIVE LOAD	30 LBS/SQ FT
2ND FLOOR DEAD LOAD	10 LBS/SQ FT
3RD FLOOR LIVE LOAD	30 LBS/SQ FT
3RD FLOOR DEAD LOAD	10 LBS/SQ FT
ROOF LIVE LOAD	30 LBS/SQ FT
ROOF DRIFT LOAD	15 LBS/SQ FT

ZONING CHART

ZONE: R-5

BLOCK 49

LOT 36

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	COMMENTS
MIN. LOT AREA	3000 SF	8192 SF (USABLE)	NO CHANGE	TAX MAP: 9100SF
LOT WIDTH/LOT FRONTAGE PRIMARY	75 FT	162.27 FT	NO CHANGE	OK
LOT WIDTH/LOT FRONTAGE SECONDARY	75 FT	50 FT	NO CHANGE	EXISTING (50-35-35=20)
CORNER LOT SHAPE CIRCLE	33 FT	0	NO CHANGE	
PRINCIPAL BUILDING	BLDG / PORCH	BLDG / PORCH	BLDG / PORCH	OK
PRIMARY FRONT YARD SETBACK	35 FT 30 FT	12 FT / 8 FT	12.35 FT	EXISTING/ INTENSIFY @ ADDITION
SECONDARY FRONT YARD SETBACK	35 FT 30 FT	54.6 FT	35.1 FT	OK
MIN. WATER SETBACK	50 FT	52.2 FT	NO CHANGE	OK 22-7.32 (BORDERING ON RIVER)
MIN. REAR YARD SETBACK	35 FT	8 FT	NO CHANGE	EXISTING
BUILDING HEIGHT				
RIDGE	35 FT	27'-3"	29'-7"	OK
EAVES	26 FT	14'-6"	19'-0"	OK
ACCESSORY BUILDING: POOL TO COPING				
MIN. SIDE YARD SETBACK -POOL	10 FT	N.A.	33 FT	OK
MIN. REAR YARD SETBACK -POOL	10 FT	N.A.	10 FT	OK
MIN. FRONT YARD SETBACK	35 FT	N.A.	18 FT	OK POOL IN FRONT YARD
ACCESSORY STRUCTURE				
HEIGHT	15 FT	N.A.		N.A.
MIN. SIDE YARD SETBACK	5 FT	N.A.		N.A.
MIN. REAR YARD SETBACK	5 FT	N.A.		N.A.
PERMITTED LOT COVERAGE BUILDING				
COVERAGE FLOOR AREA				
MAX. LOT COVERAGE	3393 SF	2024 SF	2839 SF	OK
MAX. LOT BUILD COVERAGE	1759 SF	1557 SF	2130 SF	VARIANCE
MAX. FLOOR AREA	2958 SF	2231 SF	3127 SF	VARIANCE
FLOOR AREA RATIO	0.361	0.248	0.347	OK

ELECTRIC LEGEND

\$	SWITCH
\$	THREE WAY SWITCH
⊕	DUPLEX, QUAD OUTLET
⊙	CLOCK OUTLET
⊕	CEILING MOUNTED LIGHT FIXTURE (LED SOFT WHITE) ON DIMMER SWITCH (OWNER TO SUPPLY)
⊕	WALL MOUNTED LIGHT FIXTURE ON DIMMER SWITCH (OWNER TO SUPPLY)
⊕	CEILING MOUNTED FAN (OWNER TO SUPPLY)
□	CEILING MOUNTED LIGHT FIXTURE (LED SOFT WHITE)
⊕	RECESSED HIGH HAT, RECESSED 4" Ø EYEBALL LIGHT ON DIMMER SWITCH (LED SOFT WHITE)
⊕	ALL RECESSED LIGHTS IN CLOSET & SHOWER TO HAVE COVER
⊕	MINI RECESSED LIGHT ON DIMMER SWITCH (LED SOFT WHITE) ALL RECESSED LIGHTS IN CLOSET & SHOWER TO HAVE COVER
⊕	UNDER CABINET (LED SOFT WHITE)
⊕	EXHAUST FAN BY NUTONE (100 CFM MIN.) VENT OUTSIDE
⊕	EXHAUST FAN/LIGHT CEILING BY NUTONE (100 CFM MIN.)
⊕	HEAT LAMP
⊕	TELEPHONE RECEPTACLE
●	CABLE CONNECTION
⊕	SMOKE DETECTOR (HARDWIRED TOGETHER WITH BATTERY BACKUP) ONE PER FLOOR & ONE PER BEDROOM
⊕	CARBON MONOXIDE DETECTOR TIED INTO SMOKE ALARM
⊕	LOW VOLTAGE LIGHT FIXTURE (RECESSED IN RISERS)

GENERAL NOTES:

- THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE LOCAL, STATE, AND NATIONAL CODES INCLUDING THE NEW JERSEY UNIFORM CONSTRUCTION CODE, REHABILITATION SUB CODE (NJAC 5:23-6), 2021 ENERGY CODE, AND THE 2021 INTERNATIONAL BUILDING CODE/2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION; INTERNATIONAL ENERGY CODE (NJAC 5:23-3.18); ICC/ANSI 117.1-2017; INTERNATIONAL FUEL GAS SUBCODE 2021 (NJAC 5:23-3.22) AND ELEVATOR SUBCODE (NJAC 5:23-12)
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NJAC 5:23-3.16) AND NFPA70/2020
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE 2021(NJAC 5:23-3.15)
- ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE 2021 (NJACS-23-3.20)
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD ADJUSTED WITH THE APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR IS TO VERIFY ALL FIELD CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF FOUNDATION TO CORRESPOND WITH THE SITE PLAN AND COORDINATE WITH THE SURVEYOR AS TO THE EXACT LOCATION AND FOR AS-BUILT SURVEYS AS REQUIRED.
- THE CONTRACTOR SHALL CARRY CONTRACTORS LIABILITY AND WORKERS' COMP. INSURANCE AND BE RESPONSIBLE FOR SAFETY ON THE JOB.
- ALL NEW ITEMS INSTALLED SHOULD MATCH ORIGINAL QUALITY AND DETAIL OF EXISTING, UNLESS SPECIFICALLY NOTED, INCLUDING TRIM, FIXTURES, MASONRY, CARPENTRY, ETC.
- CONTRACTOR SHALL VERIFY ALL FINISHED MATERIALS, LIGHTING FIXTURES, PLUMBING FIXTURES, CABINETRY, DOORS, WINDOWS, ETC. WITH OWNER PRIOR TO INSTALLATION.
- PATCH, REPAIR, AND MATCH ALL AREAS DISTURBED BY ADJACENT WORK.
- CONTRACTOR TO ESTABLISH LOCATION OF WATER MAIN, GAS LINES, AND POWER LINES PRIOR TO START OF THE JOB.
- ALL FOOTINGS AND PIERS TO BE A MINIMUM OF 3'-0" BELOW GRADE.
- CONCRETE: MINIMUM 3000 PSI (28 DAY COMPRESSION TEST) AND ACI REQUIREMENTS.
- ALL BLOCK MASONRY SHALL CONFORM TO ASTM C90 (8 BE A MIN. 2 HOUR RATED-CLASS P-2), MORTAR SHALL BE TYPE "M", ASTM DESIGNATED C270 HORIZONTAL JOINT REINFORCEMENT HOT-DIPPED GALVANIZED DURA-WALL IN
- IN ALTERNATING COURSES, REINFORCEMENT BARS SHALL BE DEFORMED INTERMEDIATE GRADE PER ASTM 615 FOR 60,000 PSI YIELD STRENGTH. PROVIDE VERTICAL REINFORCING AS SHOWN ON THE DRAWINGS. FILL TOP AND BOTTOM COURSES AND CORES WITH REINFORCING BARS OR ANCHOR BOLTS SOLID WITH GROUT.
- STRUCTURAL LUMBER: MINIMUM CONSTRUCTION GRADE 2 DOUGLAS FIR; FB= 1450 PSI, 1250 PSI FOR REPETITIVE USE AND E= 1.6 X 10 EEE PSI. MICROLAMS BE GEORGIA PACIFIC TECLAMS OR EQUIV.: FB= 2850 PSI. STEEL TO BE A-36; FB= 21,000 PSI. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH IRC/IBC AND LOCAL CODES. PROVIDE JOIST HANGERS @ ALL FLUSH JOINT CONNECTIONS. PROVIDE HURRICANE TIES @ ALL VERTICAL JOIST ENDS, SECURED TO FACE OF FRAMING. DOUBLE ALL FLOOR JOISTS UNDER ALL WALLS.
- USE ACO LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY OR WHERE EXPOSED TO THE WEATHER. EXTERIOR GLULAMS BY ROSSBORO; FB=2400 PSI AND E=1.8X10EES PSI OR EQUIV.
- SOIL BEARING ASSUMED TO BE MINIMUM REQUIRED OR 2000 PSF, ON SOLID, UNDISTURBED EARTH. DO NOT BEAR ON UNSUITABLE STRATA.
- JOB SITE IS TO BE KEPT CLEAN WITH DEBRIS AND MATERIALS STACKED DAILY AND ALL DEBRIS TO BE REMOVED AT THE COMPLETION OF THE JOB. BROOMSWEEP DAILY.
- CONTRACTOR TO PROVIDE A PORTA-JOHN IF REQUIRED OR REQUESTED BY HOMEOWNER.
- SITE TO GRADED IN ACCORDANCE WITH THE DRAWINGS AND A MINIMUM OF 2% SLOPE AWAY FROM THE STRUCTURE.
- ALL GROUNDS AFFECTED BY THE CONSTRUCTION TO BE GRADED, SEEDDED, AND COVERED WITH SALT-HAY.
- CONTRACTOR SHOULD PRESERVE ALL EXISTING LANDSCAPING AND BE RESPONSIBLE FOR DAMAGE TO ADJACENT SHRUBBERY AND TREES.
- ALL WINDOW AND DOOR HEADERS SHALL BE (2) 2"x10" UNLESS NOTED
- ADD SIMPSON H-H HURRICANE STRAPS @ 16" OC BETWEEN THE ROOF RAFTERS AND EXTERIOR WALLS.
- ALL WINDOW SILLS 6'-0" ABOVE GRADE SHALL BE A MINIMUM OF 24" AFF. EGRESS WINDOWS MUST BE 5.7 SF OPENING, 20" W X 24", MIN., AND A MAX. OF 44" AFF.
- ALL GLASS WITHIN 24" OF A DOOR SWING SHALL BE TEMPERED.
- PROVIDE FLASHING @ WINDOW HEADS AND SILLS AND AT EXTERIOR DOOR HEADS AND ALL ROOF/WALL PENETRATIONS. SEAL EXTERIOR PERIMETER WINDOWS AND DOOR WITH GE SILICONE OR EQUIV. IN MATCHING COLOR. PROVIDE APPROVED SEALANT AT ALL FIRE RATED ASSEMBLY PENETRATIONS AT ALL WALL ASSEMBLY TERMINATIONS AND AT UNDERSIDE OF FLOOR ABOVE.
- FLAT ROOFING SHALL BE A MIN. 60 MIL.-SINGLE-PLY EPDM CLASS "A" ROOFING BY FIRESTONE OR EQUIV.. PROVIDE ALL COUNTER FLASHING AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.
- ACCESS TO NEW CRAWL SPACE WILL BE MINIMUM OF 32"
- STAIR NOTES: MINIMUM HEADROOM IS 80" CLEAR. RAILING HEIGHT IS 36" WITH SPACE BETWEEN THE BALUSTERS TO BE LESS THAN 4". HANDRAILS ARE AT 34" HIGH AND PROJECT NO MORE THAN 3 1/2" INTO THE REQUIRED STAIR WIDTH WITH A GRIPPING SURFACE OF 1 1/2" TO 2".
- TEST ALL PLUMBING FOR PROPER DRAINAGE AND AT CONNECTION TO EXISTING SEWER LINES TO PREVENT A BACKUP WHEN MULTIPLE FIXTURES ARE DRAINED AT THE SAME TIME. IF SNAKING LINE TO THE STREET IS REQUIRED, THIS EXPENSE WILL BE THE OWNERS.

USE GROUP
CONSTRUCTION TYPE

R5
S8

BUILDING SUBCODE
International Building Code 2021 (IBC) with New Jersey Edits

PLUMBING SUBCODE
National Standards Plumbing Code 2021 (NSPC) with New Jersey Edits

ELECTRICAL SUBCODE
NFPA 70: National Electric Code 2020 (NEC)

ENERGY SUBCODE
International Energy Conservation Code 2021 (IECC)(Low-Rise Residential)
Energy subcode ASHRAE90.1-2019 (Commercial and Other Residential)

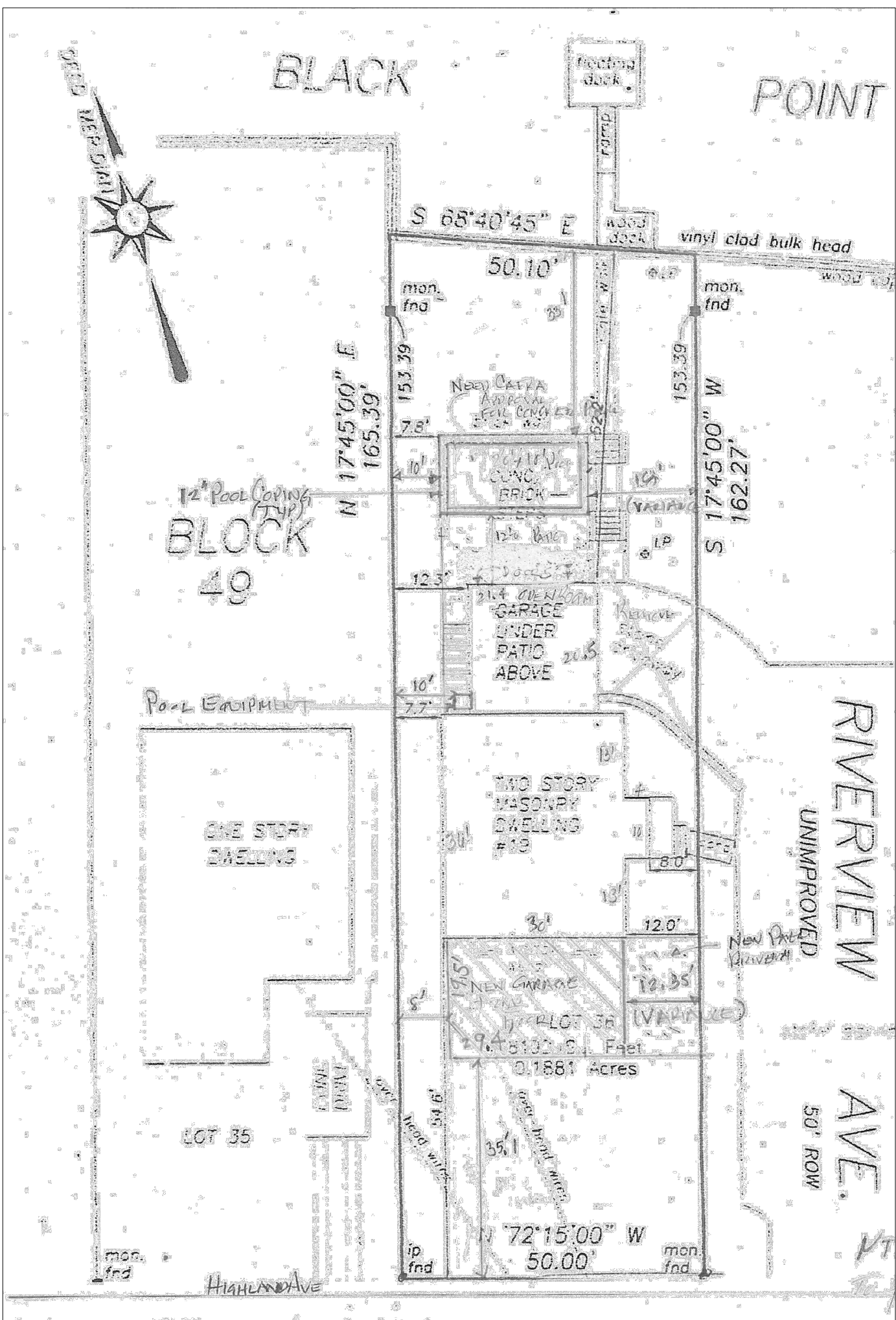
MECHANICAL SUBCODE
International Mechanical Code 2021 (IMC)

ONE-AND-TWO-FAMILY DWELLING SUBCODE
International Residential Code 2021 (IRC) with New Jersey Edits

FUELS GAS SUBCODE
International Fuel Gas Code 2021 (IFGC)

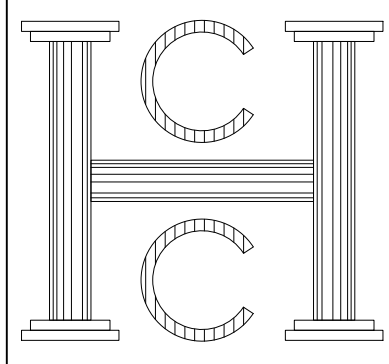
REHABILITATION SUBCODE
NUCC Subchapter 6 (NJAC 5:23-6)

BARRIER-FREE SUBCODE
IBC Chapter 11 & ICC A117.1-201



SITE PLAN

SCALE: 1" = 20.0'



ARCHITECTURE
&
ENGINEERING
(908) 451-3161

CAROL C. HEWIT, PE AIA
468 ELLISON DRIVE
MANTOLOKING, NJ 08738

RA # AI 12960

PE # GE 32417

SCALE:	NOTED
DRAWN BY:	H. SANTOS
CHECKED BY:	C.C. HEWIT
DATE:	05-30-2025
JOB #:	

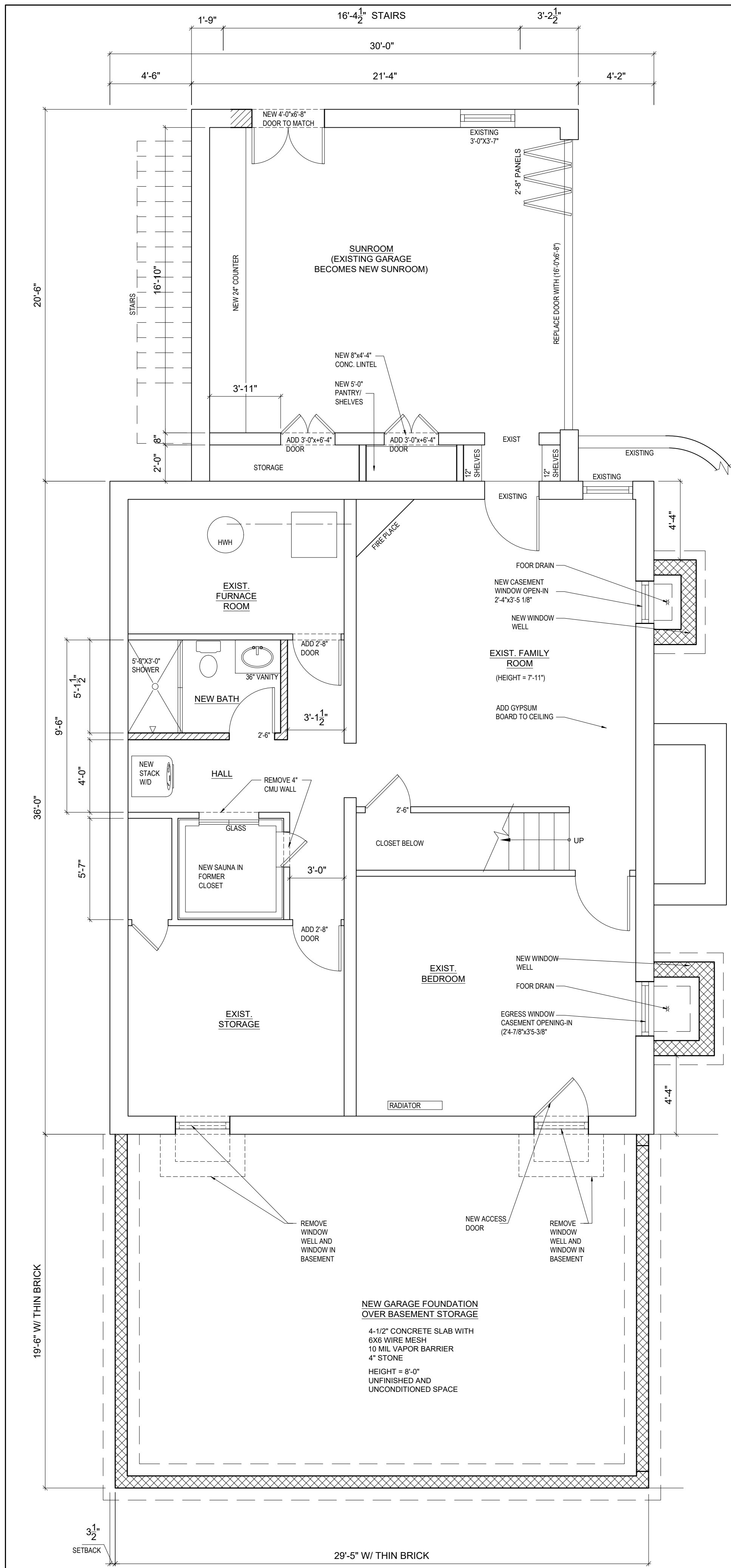
NO.	DATE	REVISION
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GENERAL NOTES

DRAWING NO.

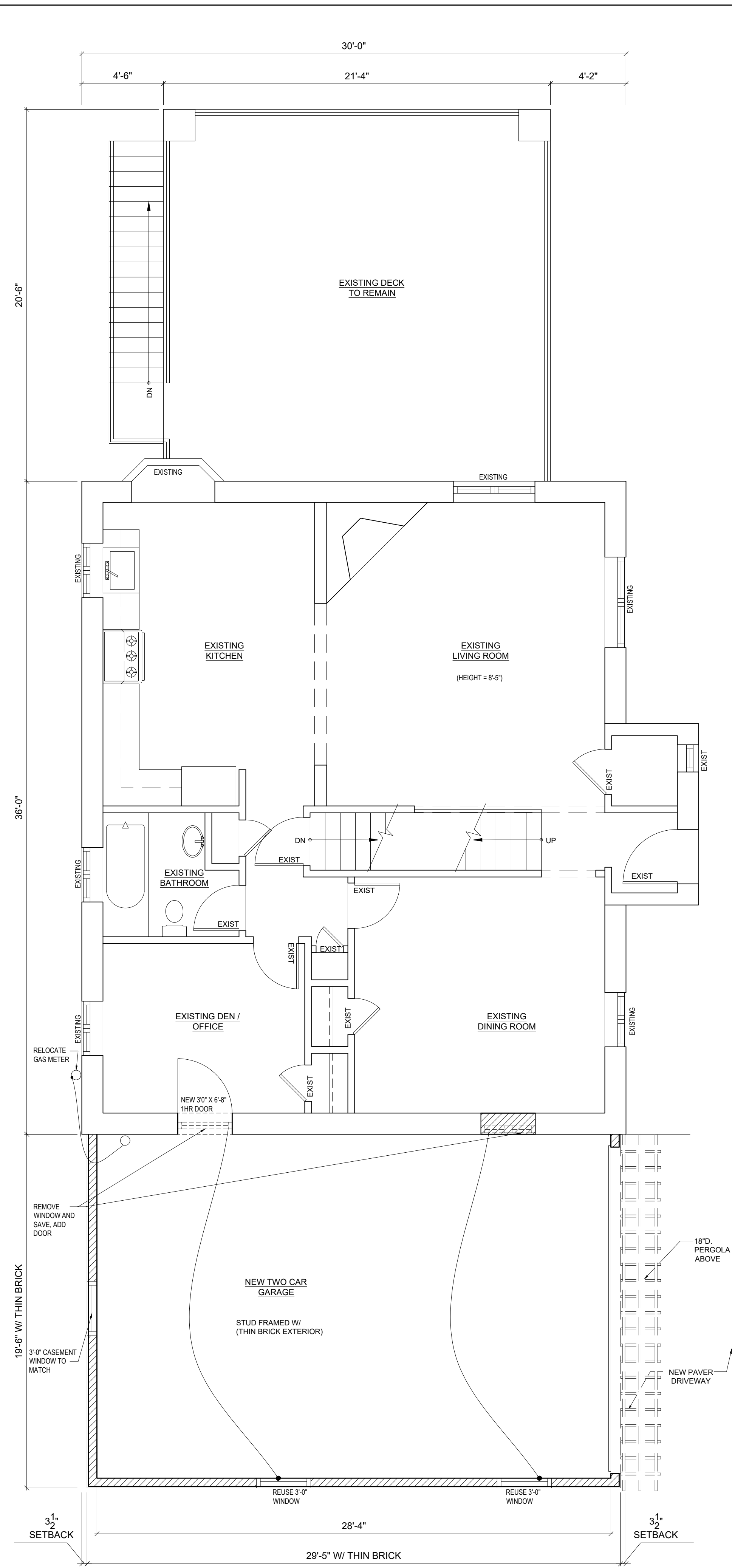
GN-1

Ojeda Residence
19 Highland Avenue,
Rumson, New Jersey



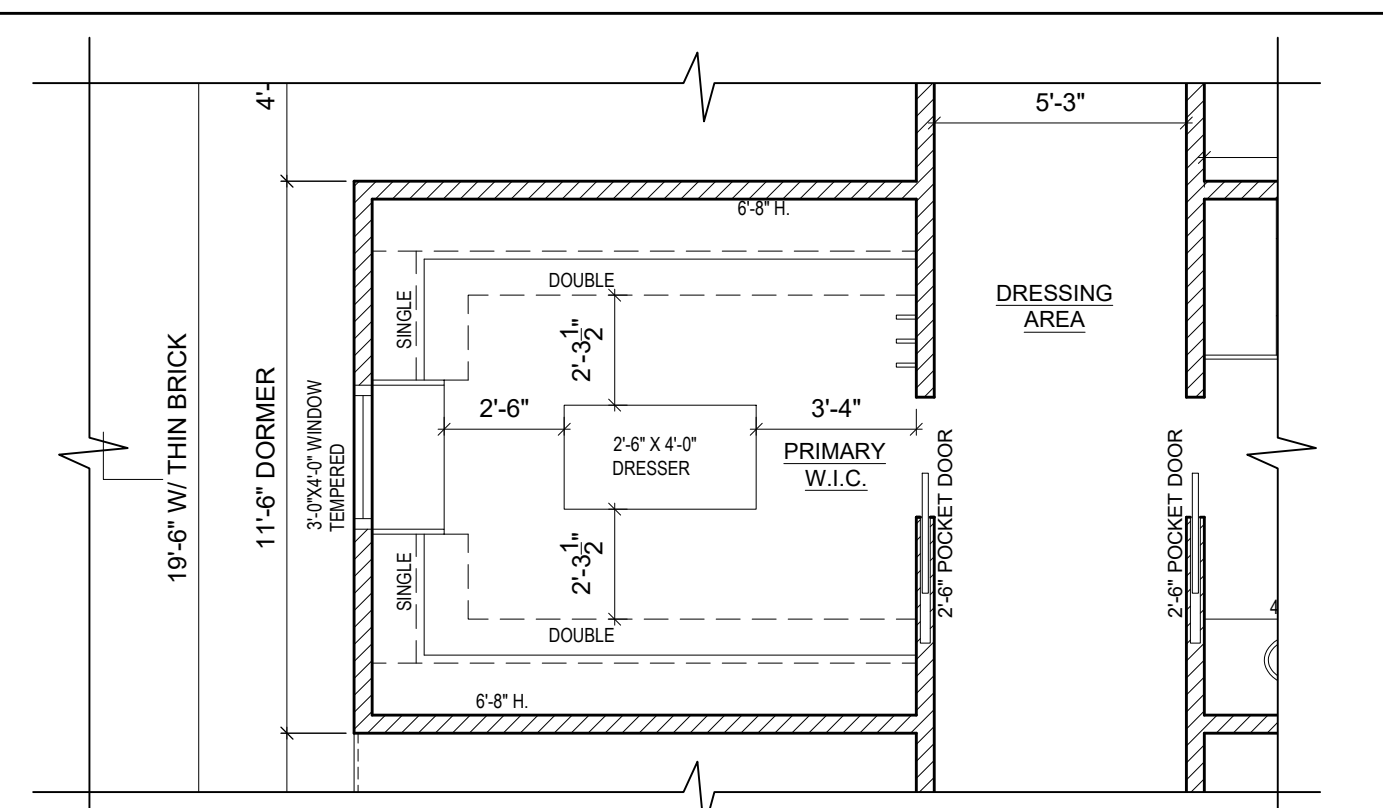
PROPOSED FOUNDATION

SCALE: 1/4"=1'-0"



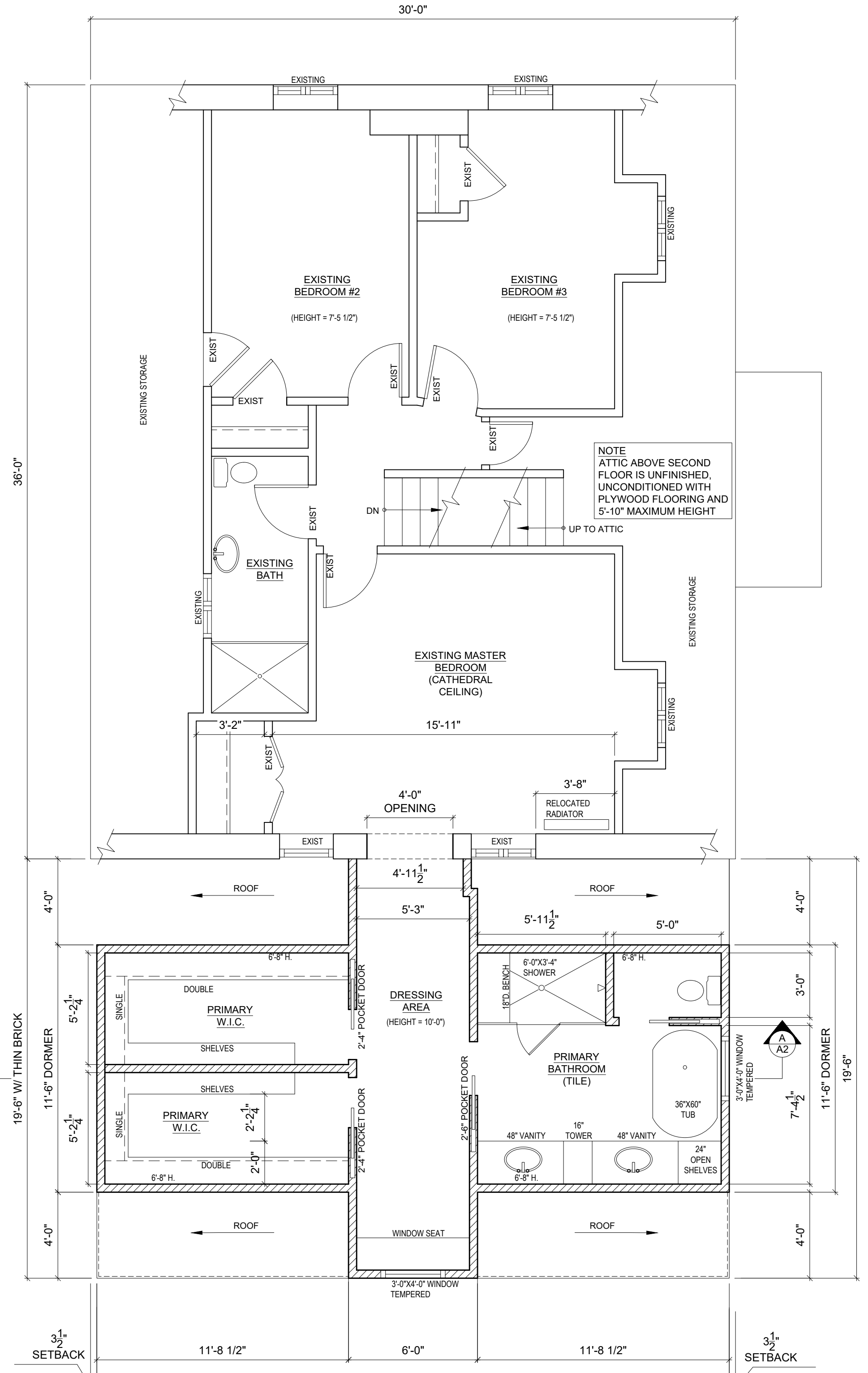
PROPOSED FIRST FLOOR

SCALE: 1/4"=1'-0"



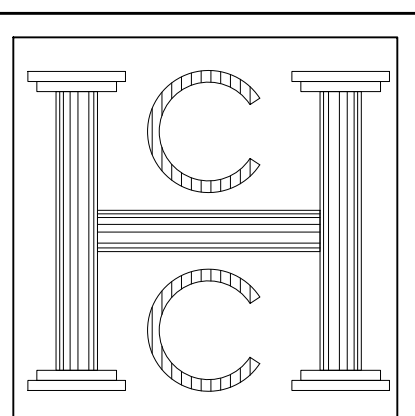
ALTERNATE PRIMARY CLOSET FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED SECOND FLOOR

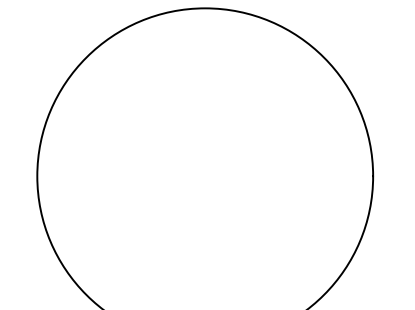
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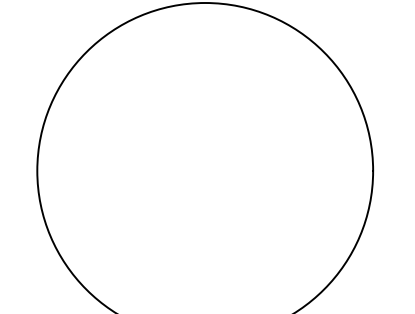
ARCHITECTURE
&
ENGINEERING

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CAROL C. HEWIT, PE AIA
468 ELLISON DRIVE
MANTOLOKING, NJ 08738



RA # AI 12960



PE # GE 32417

SCALE: NOTED

DRAWN BY: H. SANTOS

CHECKED BY: C.C. HEWIT

DATE: 05-30-2025

JOB #:

Ojeda Residence
19 Highland Avenue,
Rumson, New Jersey

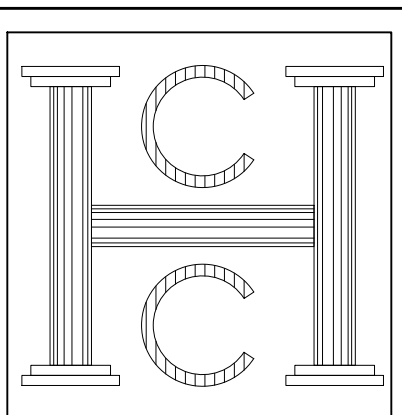
REVISIONS		
NO.	DATE	REVISION

DRAWING TITLE:

FLOOR PLANS

DRAWING NO.

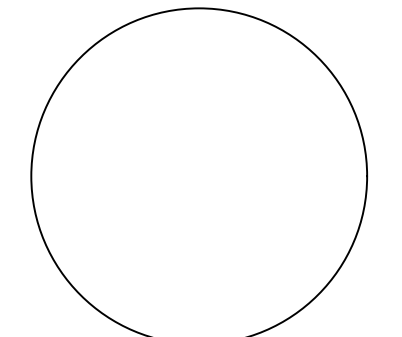
A-1



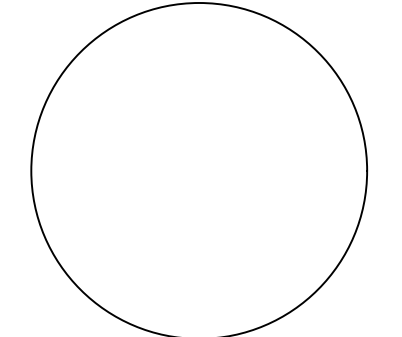
ARCHITECTURE
&
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DATE: 05-30-2025

JOB #:

Ojeda Residence
19 Highland Avenue,
Rumson, New Jersey

REVISIONS

NO. DATE REVISION

DRAWING TITLE:

ELEVATIONS

DRAWING NO.

A-2

DENIED



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

Marie DeSoucey
Land Use & Development Official
office 732.842.3022
mdesoucey@rumsonnj.gov

LAND USE & DEVELOPMENT PERMIT

Date: 5/16/25

Fee: \$ _____

Check # _____

ALL RESIDENTIAL APPLICATIONS \$50

ALL COMMERCIAL APPLICATIONS \$100

Checks shall be made payable to: Borough of Rumson.

With this application you are required to submit one (1) copy of a current survey/plot plan/site plan and one (1) set of architectural plans. Surveys must show the existing conditions and exact location of physical features including metes and bounds, drainage, waterways, specific utility locations and easements, all drawn to scale. All surveys *must* be prepared by a land surveyor (signed/sealed). Architectural plans must show Zoning data existing and proposed setbacks (Schedule 5-1), Building Height (Schedule 5-2), Lot Coverage and Building Coverage (Schedule 5-4) and Floor Area (Schedule 5-3).

ALL APPLICATIONS MUST INCLUDE A PLAN(S), SURVEY AND/OR SKETCH. SUBMIT ALL PDF'S TO MDESOUCEY@RUMSONNJ.GOV UPON SUBMISSION OF THE LAND USE & DEVELOPMENT PERMIT.

PLEASE CONFIRM A DIGITAL COPY HAS BEEN PROVIDED UPON SUBMISSION.

ALL FLOOD ZONE APPLICATIONS MUST BE ACCOMPANIED WITH AN ELEVATION CERTIFICATE

- ** Pools require a fence. Please indicate type, height, and area of fence and location of filter/heater.
*** Air Conditioner Units: Please indicate proposed location & provide specifications which show the height.
Generators: Please indicate proposed location & provide specifications which show that the unit has a Critical Muffler & Sound Attenuation Enclosure. These must be screened from neighboring properties and the street.

(Please Print Clearly)

- Location of property for which Permit is desired:
Street Address: 14 Highland Ave Block: 49 Lot 36 Zone: R-5
- Applicant's Name: Bobbyr Ellen Ojeda Address: _____
Email ekojo21@aol.com Tel. 732-245-3004
- Property Owner's Name: SAME Address: _____
Email SAME Tel. 732-245-3004
- Description of Work: An Existing garage is being converted to a sunroom and a new garage with a master Bath and walk-in closet are being added above. Site work includes adding a pool + patio between the pool + sunroom; the driveway is being relocated and made smaller.

Has the above premises been the subject of any prior application to the Planning Board/ Zoning Board of Adjustment?

Yes ☐ No ☒ If yes, state date: _____ (Submit a copy of the Resolution)

Board: _____ Resolution # (if any): _____

Applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All Zoning Permits will be granted or denied within ten (10) business days from the date of complete application.

Signature of Applicant _____

Date _____

Print Applicant's Name _____

Signature of Owner (if different than applicant) _____

Date _____

Print Owner's Name (if different than applicant) _____

----- **FOR OFFICE USE** -----

Approved _____ Denied ☒

DENIED

COMMENTS:

Exceeds FA & BC. See Attached

Denial Memo dated 4/29, Revised 5/28/25

Rev 7/1/25

Appeals of the Office's determination must be filed within 20 days of the date of issuance to the Planning/Zoning Board as provided by the New Jersey Municipal Land Use Law. *This limitation is not imposed if the applicant is seeking a variance, site plan, or subdivisions.* The Board reserves the right to deem additional information and/or variances required. Approved permits are valid for one (1) year, and may be extended by action of the Zoning Board.

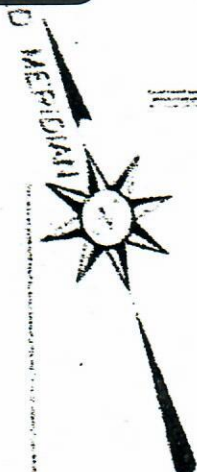
Marie DeSoucey
Marie DeSoucey
Land Use & Development Official

5/28/25
Date

A.6

BLACK

POINT



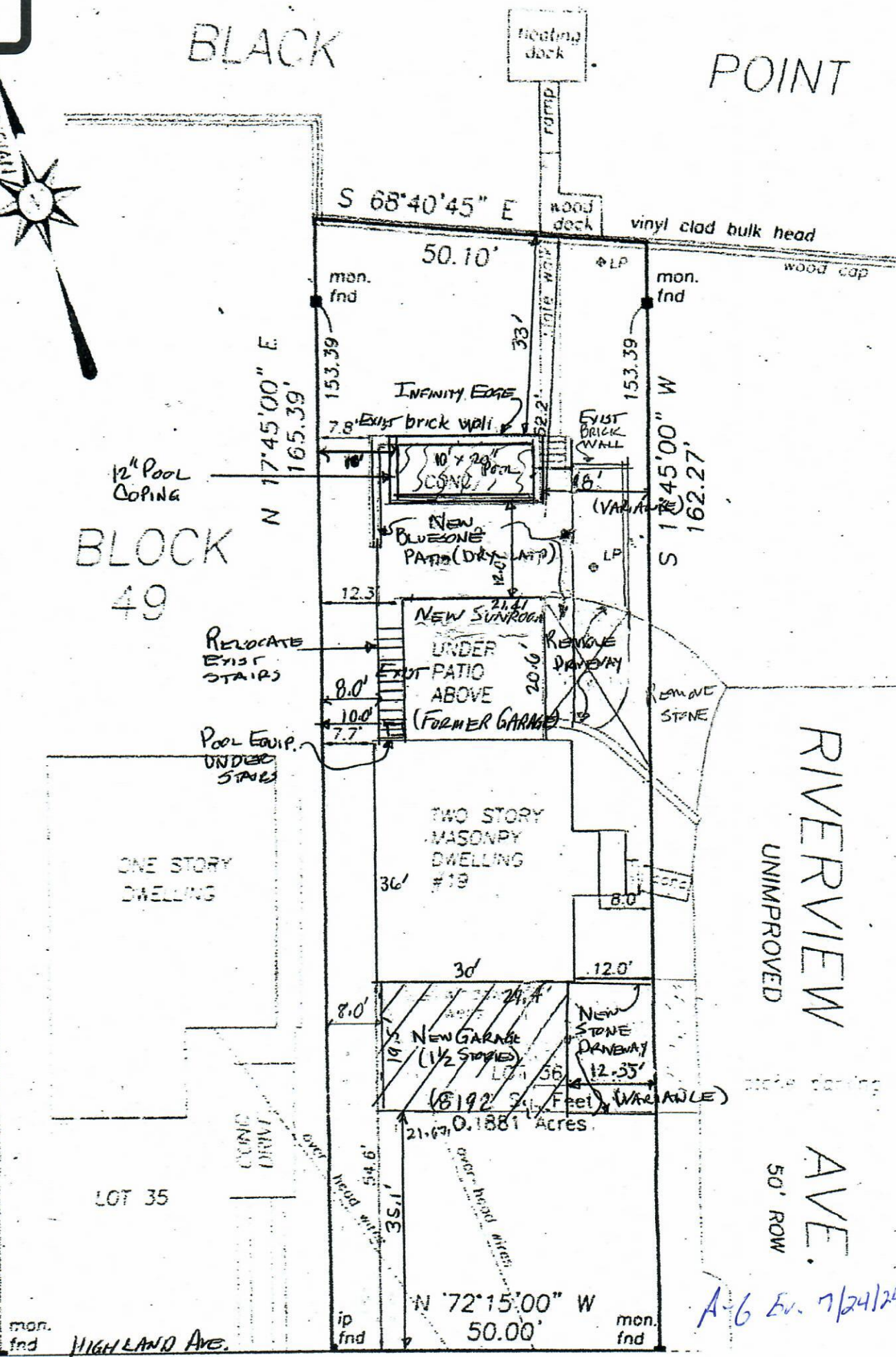
BLOCK
49

RIVERVIEW

UNIMPROVED

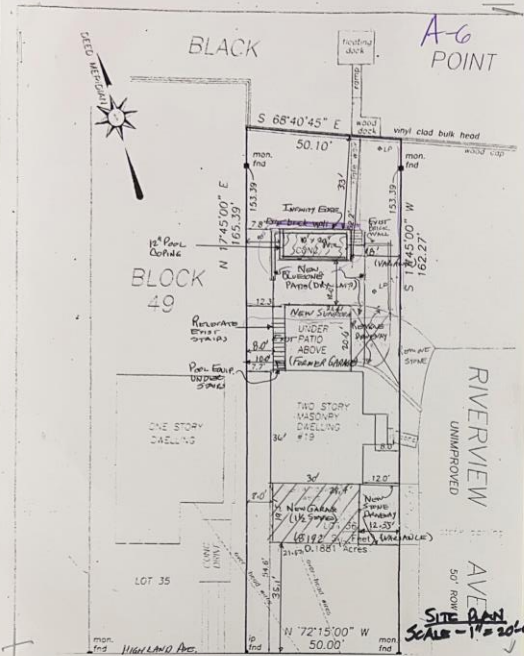
AVE
50' ROW

A-6 Ev. 7/24/25



OJEDA RESIDENCE
19 HIGHLAND AVENUE
RUMSON, NEW JERSEY

A-7



FRONT
(RIVERVIEW AVE)



FRONT



RIVER (BLACK POINT RIVER)



HIGHLAND AVE.



LOCATION OF NEW GARAGE ADDITION



FRONT (RIVERVIEW / FORMER GARAGE / NEW SUNROOM)



RIVER ELEVATION