




**Borough of Rumson**  
 BOROUGH HALL  
 80 East River Road  
 Rumson, New Jersey 07760-1689  
 rumsonnj.gov

**APPLICATION TO THE ZONING BOARD OF ADJUSTMENT**

Derek Serpe	Derek.Serpe@gmail.com	973-865-1227	
Name of Applicant	Email	Phone Number	
36 E River Road Rumson NJ 07760		11	12
Property Address		Block	Lot
36 East River Road LLC - c/o Derek Serpe			
Name of Owner (IF NOT APPLICANT)			
<i>A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.</i>			
Applicant's Attorney and contact information (if any)			
Rice & Brown Architects - Dustin Brown (732) 449-9055			
Applicant's Architect and contact information (if any)			
Lindstrom, Diessner & Carr, P.C. - Charles Lindstrom (762) 477-8900			
Applicant's Engineer and contact information (if any)			
 Signature of Applicant or Agent		2/11/26	
		Date	

***Proposed plan***

As part of previously approved conforming plan for new construction of single family residence, addition of a cabana accessory structure to the overall redevelopment plan.

***Hardship Encountered***

(22-7.8g) The cabana must be 25' from the SYSB, currently 17.5' - cabana has been determined by zoning officer to be an accessory structure to the pool and therefore has a greater set back than accessory structure as set forth in Schedule 5-1.

***Variations Requested***

Request for cabana to be treated as independent accessory structure. If treated as independent accessory structure the cabana would conform to Schedule 5-1 (minimum SYSB 15' - requested 17.5')



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**Marie DeSoucey**  
Land Use & Development Official  
  
office 732.842.3300  
fax 732.219.0714  
mdesoucey@rumsonnj.gov

## Denial Memorandum

Date: April 9, 2026

**Applicant:** Derek Serpe  
**Property Address:** 36 East River Road, Rumson, NJ 07760  
**Block, Lot & Zone:** Block 11, Lot 12, Zone R-2

I have reviewed the Zoning Board application for the construction of 350-sf poolside cabana with outdoor shower at 36 East River Road in Rumson. The existing lot is an oversized, internal, conforming lot in size and shape. In 2025, a Land Use & Development Permit was issued for a new, conforming, single-family dwelling which is currently under construction.

The proposed cabana was **denied** for the following non-conformities:

### **Borough of Rumson Ordinances/Development Regulations**

- Residential accessory pools and any associated accessory building shall maintain a minimum setback of twenty-five (25') feet the R-2 zones (**22-7.8g New Variance**)

Supporting documents to the application include:

- Cabana Plot Plan prepared, signed and sealed by Charles E. Lindstrom, signed & sealed, dated February 25, 2026, no revisions, consisting of three (3) sheets
- Architectural plan set prepared Rice & Brown Architects, signed and sealed, dated March 2, 2026, no revisions, consisting of two (2) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.

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Marie DeSoucey  
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator  
David M. Marks, P.E., C.M.E., Borough Engineer  
Sabine O'Connor, Technical Assistant



**GENERAL NOTES:**

- PROPERTY BEING KNOWN AS LOT 12 IN BLOCK 11 ON THE OFFICIAL TAX MAP SHEET 3 OF BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY.
- OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOT 12, BLOCK 11", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., WILLIAM BOOLLITTLE, DATED 10/17/2024, LAST REVISED 4/11/2025, PREPARED FOR DEREK SERPE.
- PROPERTY IS LOCATED IN THE R-2 ZONE.
- TOTAL AREA OF TRACT: 61,325 S.F. (1,408 AC.)
- OWNER/APPLICANT: 36 EAST RIVER ROAD, LLC  
16 RIDGE ROAD  
RUMSON, NJ 07760
- ELEVATIONS BASED ON NAVD 1988 DATUM UTILIZING GPS RTK OBSERVATIONS.
- PROPERTY LOCATED IN FLOOD ZONES X, SHADED X (0.2%), AE (EL 11) (LIMWA) & VE (EL 12). COMMUNITY NUMBER 345316 MAP NUMBER 3402500690, EFFECTIVE DATE JUNE 15, 2022. PROPERTY LOCATED IN FLOOD ZONES X, SHADED X (0.2%), AE (EL 11) (LIMWA) & VE (EL 12), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
- HORIZONTAL DATUM BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 1983. MAIN BEARINGS SHOWN ARE IN NAD 83 DATUM UNLESS STATED OTHERWISE.
- LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION. ALL UTILITIES MUST BE INSTALLED UNDERGROUND.
- FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
- ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
- ROOF LEADERS SHALL BE DIRECTED TOWARDS THE STREET AND/OR REAR YARD AND NOT DIRECTED TOWARDS ADJACENT PROPERTIES. NO SITE RUNOFF SHALL BE PERMITTED TO DRAIN ON ADJOINING PROPERTIES.
- PROPERTY CORNERS HAVE BEEN LOCATED AS SHOWN.
- ALL NOTES AND REFERENCES CONTAINED IN THE ABOVE REFERENCED SURVEY MAP REMAIN IN EFFECT.
- CABANA APPROVED BY NUDEP AS PART OF ACTIVITY No. LUP250001 & FILE No. 1342-25-0003.1
- CABANA APPROVED BY FREEHOLD SOIL CONSERVATION DISTRICT AS PART OF SCD No. 2025-0444.
- WITH THE EXCEPTION OF THE CABANA, ALL SITE IMPROVEMENTS PREVIOUSLY APPROVED AS PART OF ZONING APPROVAL DATED 8/21/25.

**R-2 ZONE REQUIREMENTS**

DESCRIPTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
MIN. LOT AREA	1.0 AC.	1,408 AC.	1,408 AC.
MIN. LOT FRONTAGE	150 FT.	100 FT.*	100 FT.*
MIN. LOT WIDTH	150 FT.	100 FT.*	100 FT.*
MIN. FRONT SETBACK	75 FT.	283.0 FT.	283.0 FT.
MIN. SIDE SETBACK	30 FT.	30.7 FT.	30.7 FT.
SIDE SETBACK COMBINED	95 FT.	97.2 FT.	97.2 FT.
MIN. REAR SETBACK	50 FT.	85.8 FT.	85.8 FT.
MIN. ACCESSORY BUILDING SIDE YARD SETBACK	15 FT.	17.6 FT. (GARAGE)	17.6 FT. (GARAGE)
MIN. ACCESSORY BUILDING REAR YARD SETBACK	15 FT.	147.2 FT. (GARAGE)	147.2 FT. (GARAGE)
SHAPE REQUIREMENT	100 FT.	40 FT.*	40 FT.*
MAX BUILDING COVERAGE	5,067.9 S.F.	4,748.9 S.F.	5,063.3 S.F.
MAX. LOT COVERAGE	13,152.43 S.F.	12,070.2 S.F.	12,421.8 S.F.
MIN. GROSS RESIDENTIAL GROUND FLOOR AREA	1,200 S.F.	2,878.8 S.F.	2,878.8 S.F.
MAX. GROSS FLOOR AREA	8,295 S.F.	7,941 S.F.	7,941 S.F.
MAX. GROSS FLOOR AREA RATIO	0.135	0.129	0.129
MAX. BUILDING HEIGHT	32 FT.	12.58 FT.	12.58 FT.
EAVES HEIGHT	2 1/2 STORIES	2 1/2 STORIES	2 1/2 STORIES
RIDGE	40 FT.	27.58 FT.	27.58 FT.
POOL SETBACK	25 FT.	45.0 FT. (REAR)	45.0 FT. (REAR)
POOL PATIO SETBACK	25 FT.	38.0 FT. (SIDE)	38.0 FT. (SIDE)
CABANA SETBACK	25 FT.	N/A	17.5 FT.**

\* DENOTES EXISTING NON-CONFORMANCE  
\*\* DENOTES VARIANCE REQUIRED

- THE REQUIRED SIDE AND REAR YARD SETBACKS AND OTHER REQUIREMENTS FOR RESIDENTIAL RECREATION FACILITIES AND RESIDENTIAL SPORTS FACILITIES (WHICH INCLUDES TENNIS AND PADDLE TENNIS COURTS ARE SET FORTH IN SUBSECTIONS 22-7.28 AND 22-7.33 AND SCHEDULE 7-1.
- WHERE THE LOT WIDTH EXCEEDS THE MINIMUM PRESCRIBED FOR THE ZONE DISTRICT, THE COMBINED TOTAL SIDE YARD SETBACK SHALL BE INCREASED 1.5 FEET FOR EACH FULL 5 FEET BY WHICH LOT WIDTH EXCEEDS THE MINIMUM. ONE SIDE YARD SHALL BE INCREASED BY AT LEAST 1/3 OF THE ADDITIONAL SETBACK DISTANCE REQUIRED.
- THAT PORTION OF A ROOFED, OPEN-SIDED PORCH FACING A FRONT YARD, WHICH DOES NOT EXCEED 10% OF THE PRINCIPAL BUILDING GROUND FLOOR AREA, MAY BE EXCLUDED FROM THE CALCULATION OF THE MAXIMUM LOT AND BUILDING COVERAGE FOR A SINGLE-FAMILY RESIDENTIAL DWELLING. THE PORCH MAY BE SCREENED AND INCLUDE PORCH RAILING AND/OR BALUSTRADE AND BELOW THE FLOOR LEVEL. PORCH LATTICE OR OTHER ENCLOSURE AROUND THE FOUNDATION, BUT IT SHALL NOT OTHERWISE BE ENCLOSED ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM LOT AND/OR BUILDING COVERAGE PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-705. ANY SUBSEQUENT ENCLOSING OF THE PORCH, WHICH RESULTS IN EXCEEDING THE MAXIMUM FLOOR AREA PERMITTED, SHALL REQUIRE APPROVAL OF A VARIANCE PURSUANT TO N.J.S.A. 40:55D-700.
- NO BUILDING SHALL EXCEED TWO STORIES PLUS A HABITABLE ATTIC OR BASEMENT.
- LOTS BORDERING A RIVER OR NAVIGABLE WATERWAY ARE SUBJECT TO THE PROVISIONS OF SUBSECTION 22-7.32.
- USABLE LOT AREA 57,950 S.F. - BASIS FOR MAXIMUM BUILDING COVERAGE 2,095 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (47,950 X 0.062 = 2,972.9 S.F.) = 2,095 S.F. + 2,972.9 S.F. = 5,067.9 S.F.
- USABLE LOT AREA 57,950 S.F. - BASIS FOR MAXIMUM LOT COVERAGE 3,970 S.F. + LOT COVERAGE OVER 10,000 S.F. ADDED (47,950 X 0.1915 = 9,182.43 S.F.) = 3,970 S.F. + 9,182.43 = 13,152.43 S.F.
- USABLE LOT AREA 57,950 S.F. - BASIS FOR MAXIMUM PERMITTED FLOOR AREA = 8,295 S.F.

**MAXIMUM PERMITTED FLOOR AREA**

FACTOR	USABLE LOT AREA (A)	FLOOR AREA RATIO PERMITTED (X)	MAX. PERMITTED FLOOR AREA
U.L.A. 55,000 S.F.	5,000	(X) 0.4	2,000
U.L.A. 5,000 TO 10,000 S.F.	5,000	(X) 0.3	1,500
U.L.A. 10,000 TO 50,000 S.F.	47,950	(X) 0.1	4,795

TOTAL MAX. PERMITTED FLOOR AREA = 2,000 + 1,500 + 4,795 = 8,295 S.F.

PREVIOUSLY APPROVED BUILDING COVERAGE	
1st FLOOR GROSS RESIDENTIAL FLOOR AREA	2,676.8 S.F.
2ND FLOOR COVER	202.4 S.F.
COVERED FRONT PORCH	61.6 S.F.
COVERED SIDE ENTRY	42.2 S.F.
COVERED MECHANICAL PLATFORM	107.7 S.F.
2ND FLOOR CANTILEVER	24.1 S.F.
COVERED REAR ENTRY	63.1 S.F.
COVERED REAR PORCH	403.3 S.F.
DWELLING ROOF OVERHANG	239.6 S.F.
DEDUCTIONS - DWELLING ROOF OVERHANGS UP TO 12"	-210.8 S.F.
DEDUCTIONS - PORCH FACING FRONT (STREET)	-61.6 S.F.
GARAGE	1,058.2 S.F.
GARAGE ROOF OVERHANG	142.3 S.F.
TOTAL	4,748.9 S.F.

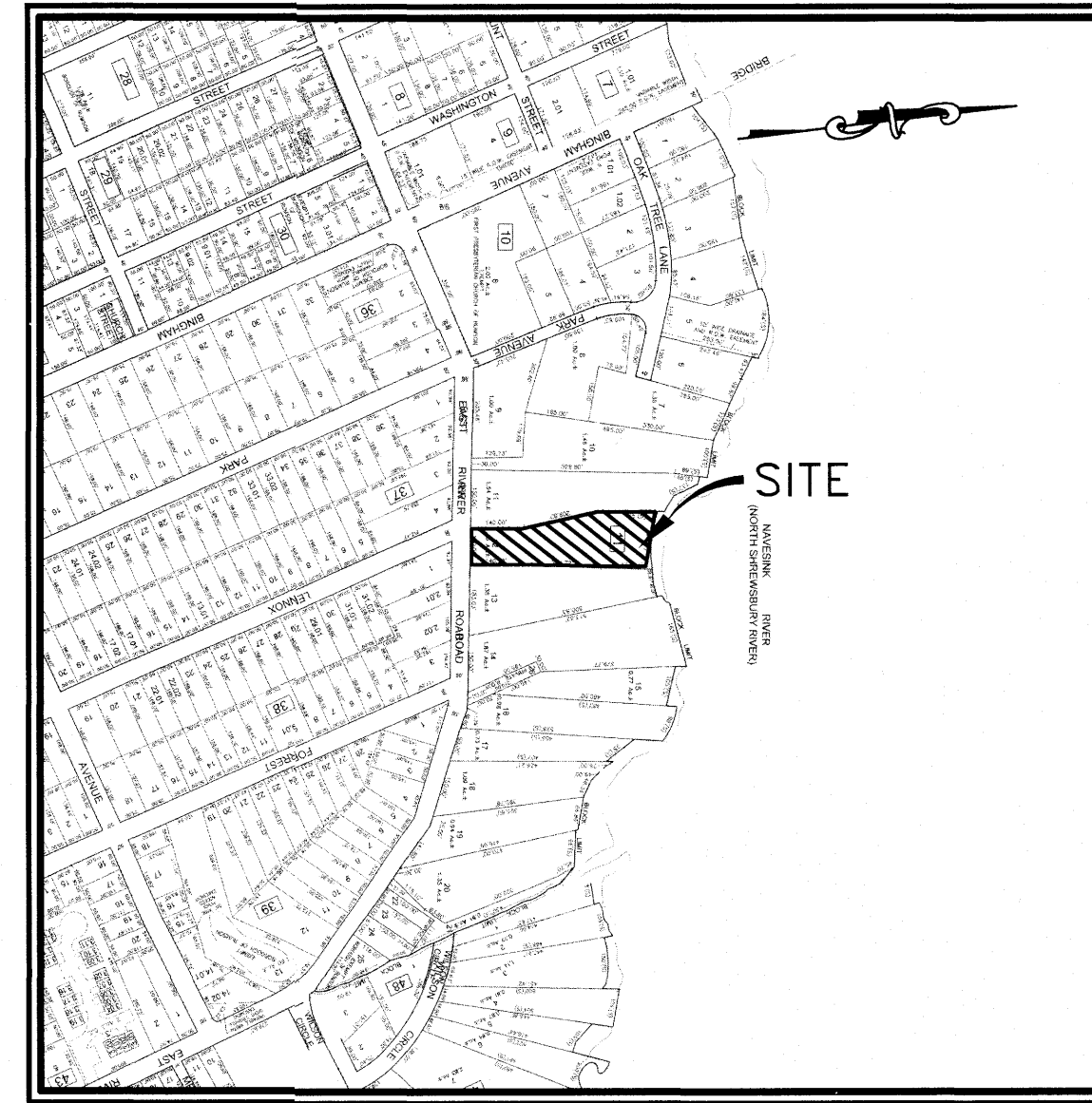
PROPOSED BUILDING COVERAGE	
PREVIOUSLY APPROVED BUILDING COVERAGE	4,748.9 S.F.
CABANA	255.3 S.F.
CABANA ROOF OVERHANG	59.1 S.F.
TOTAL	5,063.3 S.F.

PREVIOUSLY APPROVED LOT COVERAGE	
BUILDING COVERAGE	4,748.9 S.F.
GRAVEL DRIVEWAY	3,395.9 S.F.
PAVER DRIVEWAY APRON	141.7 S.F.
BITUMINOUS DRIVEWAY	2,816.8 S.F.
BELGIAN BLOCK APRONS	72.2 S.F.
STONE WALL & BELGIAN BLOCK CURB	69.9 S.F.
BLUESTONE PATIOS	560.0 S.F.
STEPS	33.3 S.F.
GRAVEL WALKWAYS 4' WIDE OR LESS	514.90 S.F.
BLUESTONE WALKWAYS 4' WIDE OR LESS	498.20 S.F.
POOL	640.0 S.F.
REAR RETAINING WALL	151.4 S.F.
UNROOFED PATIO DEDUCTION	-560.0 S.F.
DEDUCTIONS FOR WALKWAYS 4' WIDE OR LESS	-1,013.1 S.F.
TOTAL	12,070.2 S.F.

PROPOSED LOT COVERAGE	
PREVIOUSLY APPROVED LOT COVERAGE	12,070.2 S.F.
CABANA	255.3 S.F.
CABANA ROOF OVERHANG	59.1 S.F.
OUTDOOR SHOWER	37.2 S.F.
TOTAL	12,421.8 S.F.

PREVIOUSLY APPROVED GROSS FLOOR AREA TABLE	
DWELLING	
BASEMENT	1,228 S.F.
1st FLOOR AREA	2,554 S.F.
2nd FLOOR AREA	2,631 S.F.
GARAGE	
1st FLOOR AREA	993 S.F.
HALF-STORY	535 S.F.
TOTAL	7,941 S.F.

- NOTES:**
- PREVIOUSLY APPROVED GROUND FLOOR AREA ± 2,554 S.F.
  - 10% OF GROUND FLOOR AREA = (2,554)(0.1) = 255.4 S.F.
  - 30% OF GROUND FLOOR AREA = (2,554)(0.3) = 766.2 S.F.



**KEY MAP**

SCALE: 1" = 500'



**AERIAL MAP**

SCALE: 1" = 500'

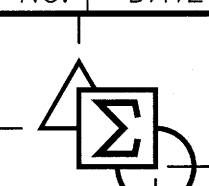
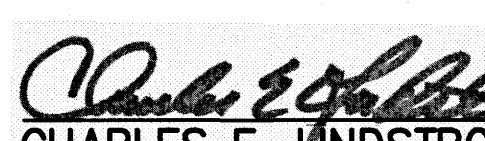
# CABANA PLOT PLAN FOR

## SERPE RESIDENCE: 36 EAST RIVER ROAD

LOT 12 BLOCK 11  
BOROUGH OF RUMSON, MONMOUTH COUNTY, NJ

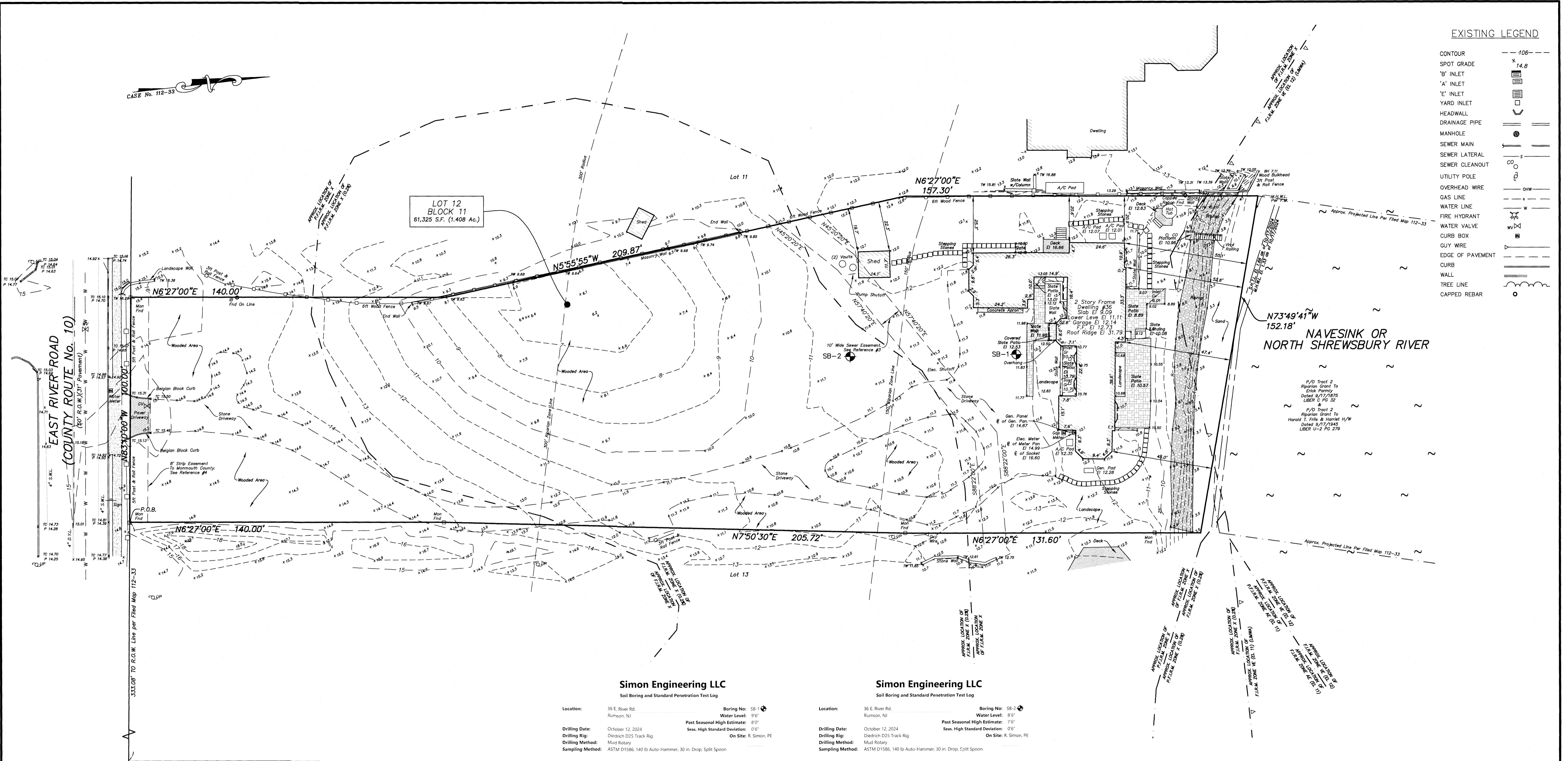
**SHEET INDEX**

SHEET No.	DESCRIPTION	LAST REVISION	REV. No.
1	COVER SHEET & GENERAL NOTES	-	-
2	EXISTING CONDITIONS PLAN	-	-
3	SITE PLAN	-	-

NO.	DATE	REVISION DESCRIPTION	BY
 <b>Lindstrom, Diessner &amp; Carr, P.C.</b> ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026			
<b>CABANA PLOT PLAN COVER SHEET &amp; GENERAL NOTES SERPE RESIDENCE 36 EAST RIVER ROAD LOT 12 BLOCK 11</b>			
 <b>CHARLES E. LINDSTROM</b> PROFESSIONAL ENGINEER N.J. LIC. NO. 248202473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300		BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY DRAWN BY: CC SCALE: AS NOTED DATE: 2/25/2026 SHEET: 1 OF 3 PROJECT: 24066	

EXISTING LEGEND

- CONTOUR --- 106 ---
- SPOT GRADE x 14.8
- 'B' INLET [Symbol]
- 'A' INLET [Symbol]
- 'E' INLET [Symbol]
- YARD INLET [Symbol]
- HEADWALL [Symbol]
- DRAINAGE PIPE [Symbol]
- MANHOLE [Symbol]
- SEWER MAIN [Symbol]
- SEWER LATERAL [Symbol]
- SEWER CLEANOUT [Symbol]
- UTILITY POLE [Symbol]
- OVERHEAD WIRE [Symbol]
- GAS LINE [Symbol]
- WATER LINE [Symbol]
- FIRE HYDRANT [Symbol]
- WATER VALVE [Symbol]
- CURB BOX [Symbol]
- GUY WIRE [Symbol]
- EDGE OF PAVEMENT [Symbol]
- CURB [Symbol]
- WALL [Symbol]
- TREE LINE [Symbol]
- CAPPED REBAR [Symbol]



**Simon Engineering LLC**  
Soil Boring and Standard Penetration Test Log

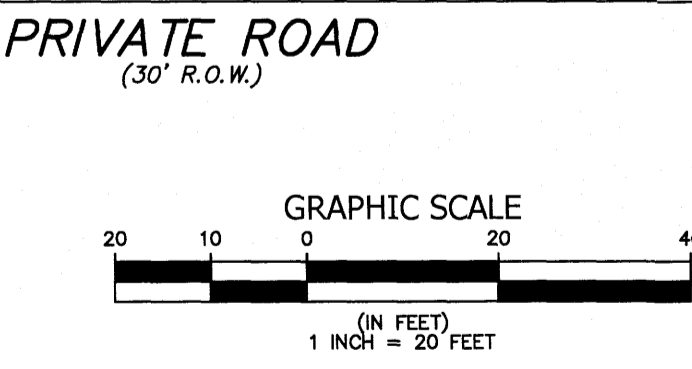
Location: 36 E. River Rd. Rumson, NJ Boring No: SB-1  
 Water Level: 9'6"  
 Past Seasonal High Estimate: 8'0"  
 Seas. High Standard Deviation: 0'6"  
 On Site: R. Simon, PE  
 Drilling Date: October 12, 2024  
 Drilling Rig: DeSlich 025 Track Rig  
 Drilling Method: Mud Rotary  
 Sampling Method: ASTM D1586, 140 lb Auto-Hammer, 30 in. Drop, Split Spoon

Depth ft.	Sample	SPY Blow Counts (per 6 in.)	N Value	Photo No.	USCS Class	Remarks / Soil Properties
0	0-2	6 6 6 6 12	2	SP	Med. Dense	120 34 0.0 55
2	2-4	2 3 3 3 6 2	SP	Loose	110 32 0.0 22	
4	4-6	3 6 5 4 11 2	SP	Loose then Med. Dense	115 34 0.0 55	
6	6-8	5 6 6 6 12 2	SP	Med. Dense	120 34 0.0 60	
8	8-10	5 5 5 6 10 3	SP	Loose	114 33 0.0 45	
10	10-12	4 6 5 6 11 3	SP	Loose then Med. Dense	115 34 0.0 55	
13	13-15	5 7 8 9 15 3	SP	Med. Dense	120 35 0.0 80	
18	18-20	12 15 15 17 30 4	SP	Dense w. gravel	130 40 0.0 380	
23	23-25	36 50/3"	50+	4	SP	Very Dense w. gravel 130 40 0.0 380 End Boring at 25 ft

**Simon Engineering LLC**  
Soil Boring and Standard Penetration Test Log

Location: 36 E. River Rd. Rumson, NJ Boring No: SB-2  
 Water Level: 8'6"  
 Past Seasonal High Estimate: 7'6"  
 Seas. High Standard Deviation: 0'6"  
 On Site: R. Simon, PE  
 Drilling Date: October 12, 2024  
 Drilling Rig: DeSlich 025 Track Rig  
 Drilling Method: Mud Rotary  
 Sampling Method: ASTM D1586, 140 lb Auto-Hammer, 30 in. Drop, Split Spoon

Depth ft.	Sample	SPY Blow Counts (per 6 in.)	N Value	Photo No.	USCS Class	Remarks / Soil Properties
0	0-2	w w 1 1 1 1 6	SP	Very Loose	100 26 0.0 2	
2	2-4	2 2 4 5 6 6	SP	Loose	110 31 0.0 22	
4	4-6	4 4 4 5 6 9	SP	Loose	114 32 0.0 35	
6	6-8	5 7 8 9 15 6	SP	Loose then Med. Dense	120 35 0.0 80	
8	8-10	6 7 9 10 16 7	SP	Med. Dense	20 35 0.0 90	
10	10-12	6 7 12 14 19 7	SP	Med. Dense	120 36 0.0 105	
13	13-15	4 9 10 11 19 7	SP	Med. Dense	120 36 0.0 105	
18	18-20	18 26 32 32 58 8	SP	Dense w. gravel	130 40 0.0 280	
23	23-25	2 2 3 6 5 8	CH	Medium	120 0 0.7 105 End Boring at 25 ft	



NOTE:  
 OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOT 12, BLOCK 11", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., WILLIAM DOOLITTLE, DATED 10/17/2024, LAST REVISED 4/11/2025, PREPARED FOR DEREK SERPE.

NO.	DATE	REVISION DESCRIPTION	BY

**Lindstrom, Diessner & Carr, P.C.**  
 ENGINEERING ♦ SURVEYING ♦ PLANNING  
 138 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel: (732)477-8900 • Fax: (732)477-8026 • info@LDcpc.com

**CABANA PLOT PLAN**  
**EXISTING CONDITIONS PLAN**  
 SERPE RESIDENCE 36 EAST RIVER ROAD  
 LOT 12 BLOCK 11  
 BOROUGH OF RUMSON MONMOUTH COUNTY NEW JERSEY

CHARLES E. LINDSTROM  
 PROFESSIONAL ENGINEER N.J. LIC. NO. 24GE02473900  
 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300

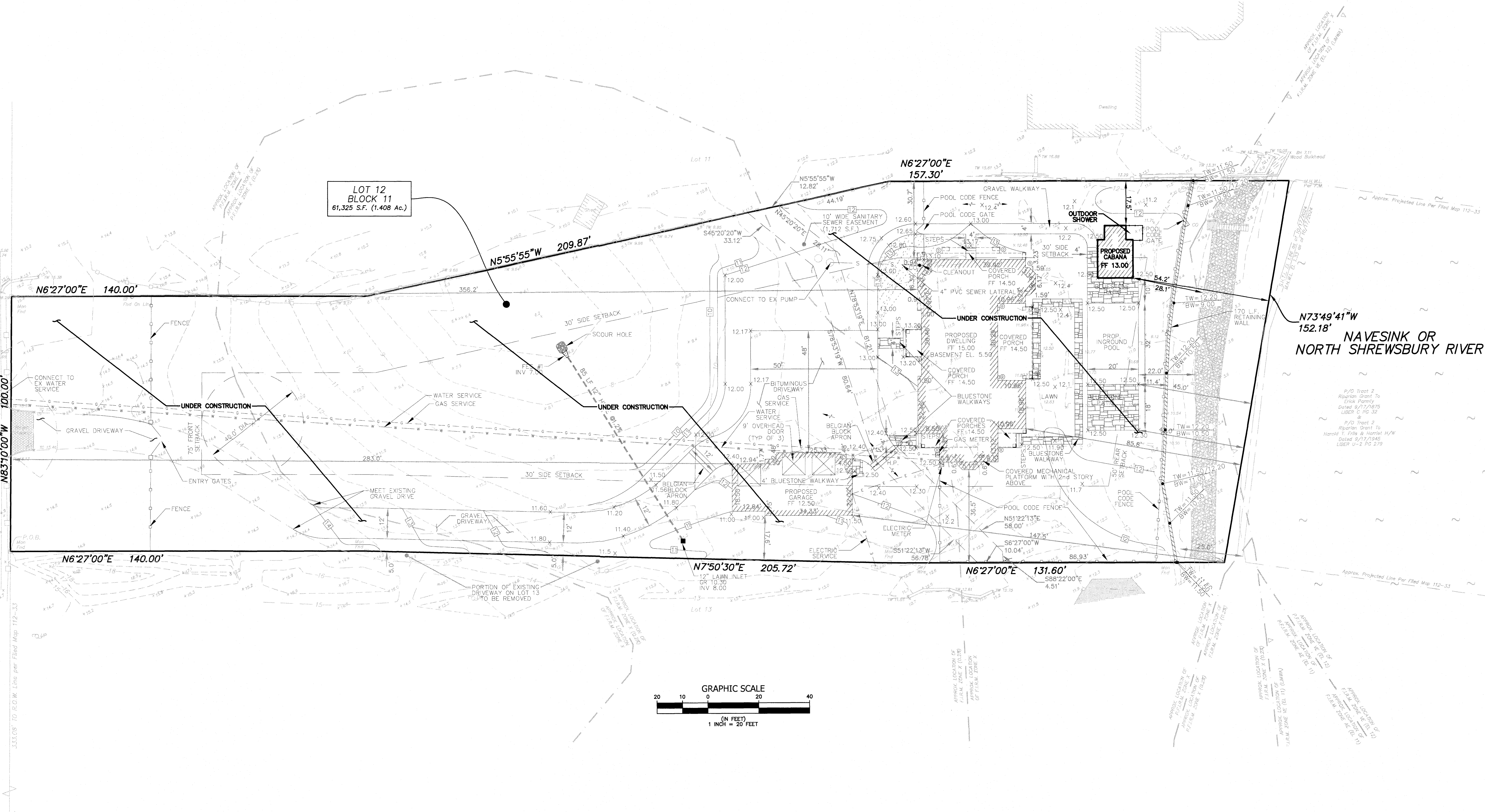
DRAWN BY: CC SCALE: 1" = 20' DATE: 2/25/2026 SHEET: 2 OF 3 PROJECT: 24066

CASE No. 112-33

EAST RIVER ROAD  
(COUNTY ROUTE No. 10)  
(30' R.O.W./31' Pavement)

PRIVATE ROAD  
(30' R.O.W.)

LOT 12  
BLOCK 11  
61,325 S.F. (1.408 Ac.)

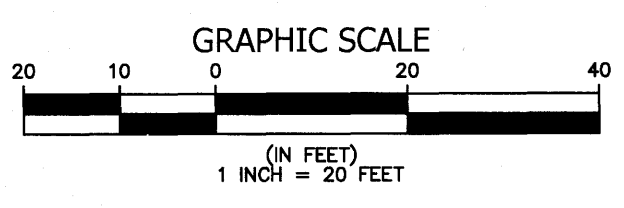


EXISTING LEGEND

- CONTOUR
- SPOT GRADE
- 'B' INLET
- 'A' INLET
- 'E' INLET
- YARD INLET
- HEADWALL
- DRAINAGE PIPE
- SAN. MANHOLE
- SEWER MAIN
- SEWER LATERAL
- SEWER CLEANOUT
- UTILITY POLE
- OVERHEAD WIRE
- GAS LINE
- WATER LINE
- FIRE HYDRANT
- WATER VALVE
- CURB BOX
- GUY WIRE
- EDGE OF PAVEMENT
- CURB
- WALL
- TREE LINE
- CAPPED REBAR

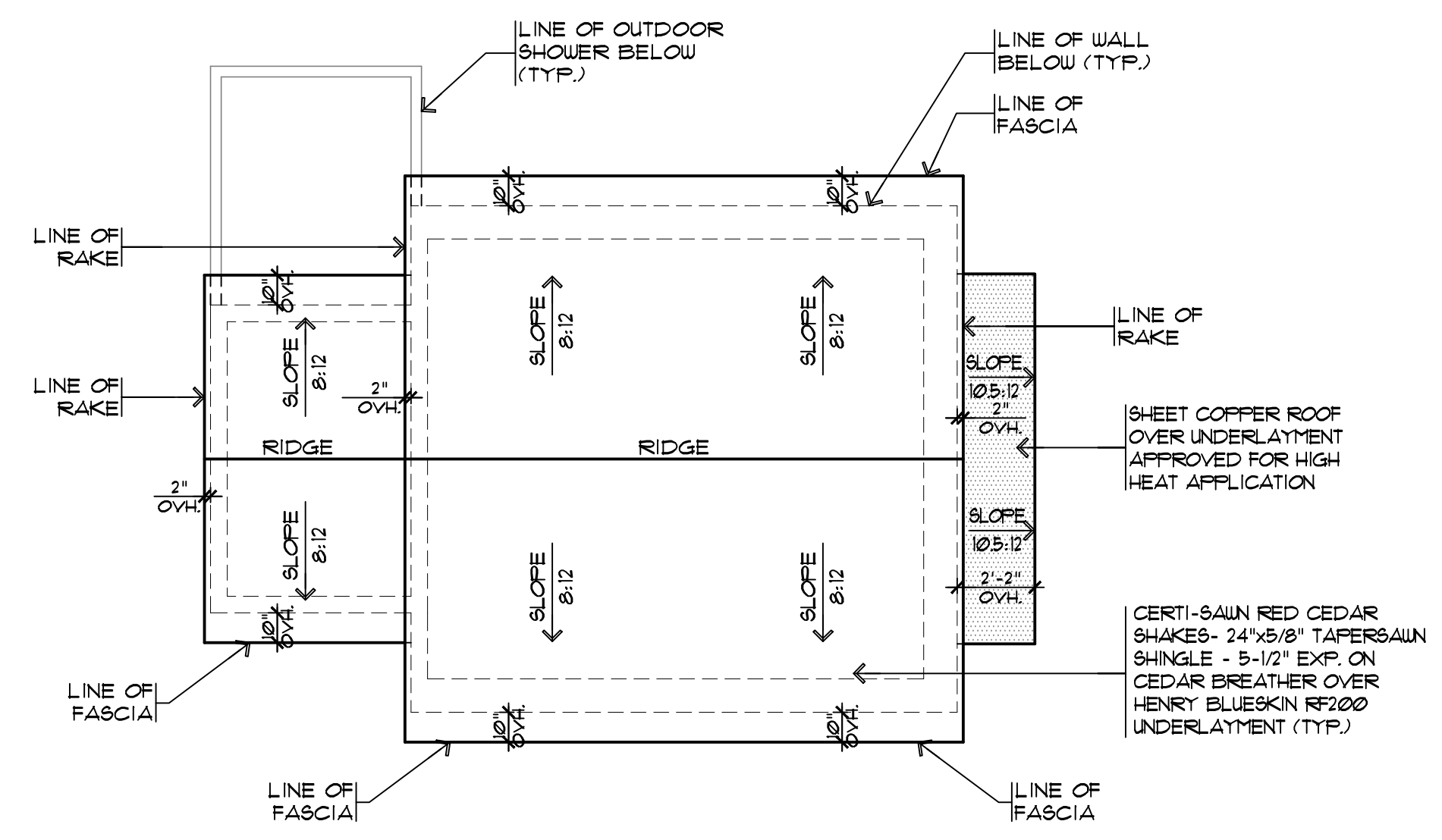
PROPOSED LEGEND

- CONTOUR
- SPOT GRADE
- NYLOPLAST DRAIN
- INSPECTION PORT
- ROOF DRAIN
- YARD INLET
- DRAINAGE PIPE
- SANITARY MAIN
- SANITARY LATERAL
- SANITARY CLEANOUT
- UTILITY POLE
- ELECTRIC LINE
- OVERHEAD WIRE
- GAS LINE
- WATER LINE
- CURB BOX
- WATER METER PIT
- TREE LINE
- CURB LINE



NO.	DATE	REVISION DESCRIPTION	BY
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<p><b>CABANA PLOT PLAN SITE PLAN</b> SERPE RESIDENCE 36 EAST RIVER ROAD LOT 12 BLOCK 11</p>			
<p><b>CHARLES E. LINDSTROM</b> PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300</p>		<p>BOROUGH OF RUMSON SCALE: 1"=20' DATE: 2/25/2026</p>	<p>MONMOUTH COUNTY SHEET: 3 OF 3 PROJECT: 24066</p>

NOTE:  
OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOT 12, BLOCK 11", PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., WILLIAM DOOLITTLE, DATED 10/17/2024, LAST REVISED 4/11/2025, PREPARED FOR DEREK SERPE.



- NOTE:**
- CERTI-SAWN RED CEDAR SHAKES - 24"x5/8" TAPERSAWN SHINGLE - 5-1/2" EXP. ON CEDAR BREATHER OVER HENRY BLUESKIN R2200 UNDERLAYMENT (TYP.)
  - SHEET COPPER ROOF OVER UNDERLAYMENT APPROVED FOR HIGH HEAT APPLICATION.
  - 3/8" ROLL ICE & WATER SHIELD AT ALL EAVES AND OPEN COPPER OPEN COPPER VALLEYS (TYP.)
  - 6" HALF-ROUND COPPER GUTTERS & LEADERS (TYP.)
  - COPPER ROOFING / COPPER ROOF CRICKETS OVER UNDERLAYMENT APPROVED FOR HIGH HEAT APPLICATION (TYP.)

**CABANA ROOF PLAN**  
SCALE: 1/4" = 1'-0"

- NOTE:**
- ALL WINDOWS, DOORS AND TRIMMED OPENINGS (T.O.) ON THIS FLOOR TO ALIGN UNLESS OTHERWISE NOTED
  - OPERABLE WINDOWS WHICH ARE LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE AND WHOSE LOWEST PART OF THE CLEAR OPENING IS LESS THAN 24" ABOVE THE FINISHED FLOOR SHALL BE PROTECTED BY "GUARDIAN ANGEL" WINDOW GUARDS WHICH COMPLY WITH ASTM F 2099 IN ACCORDANCE WITH SECTION R612.2 OF THE "INTERNATIONAL RESIDENTIAL CODE 2021".
  - ALL WINDOW & DOOR SELECTIONS TO BE REVIEWED w/ G.C. & OWNER
  - ALL DOOR SWINGS TO BE REVIEWED w/ OWNER PRIOR TO PLACING ORDER
  - G.C. TO REVIEW LOCATION OF HVAC DUCTWORK w/ OWNER PRIOR TO INSTALLATION.
  - STAIR MANUF. TO VERIFY QUANTITY OF RISERS AND TREADS (PROVIDE ARCHT w/ SHOP DRAWINGS).

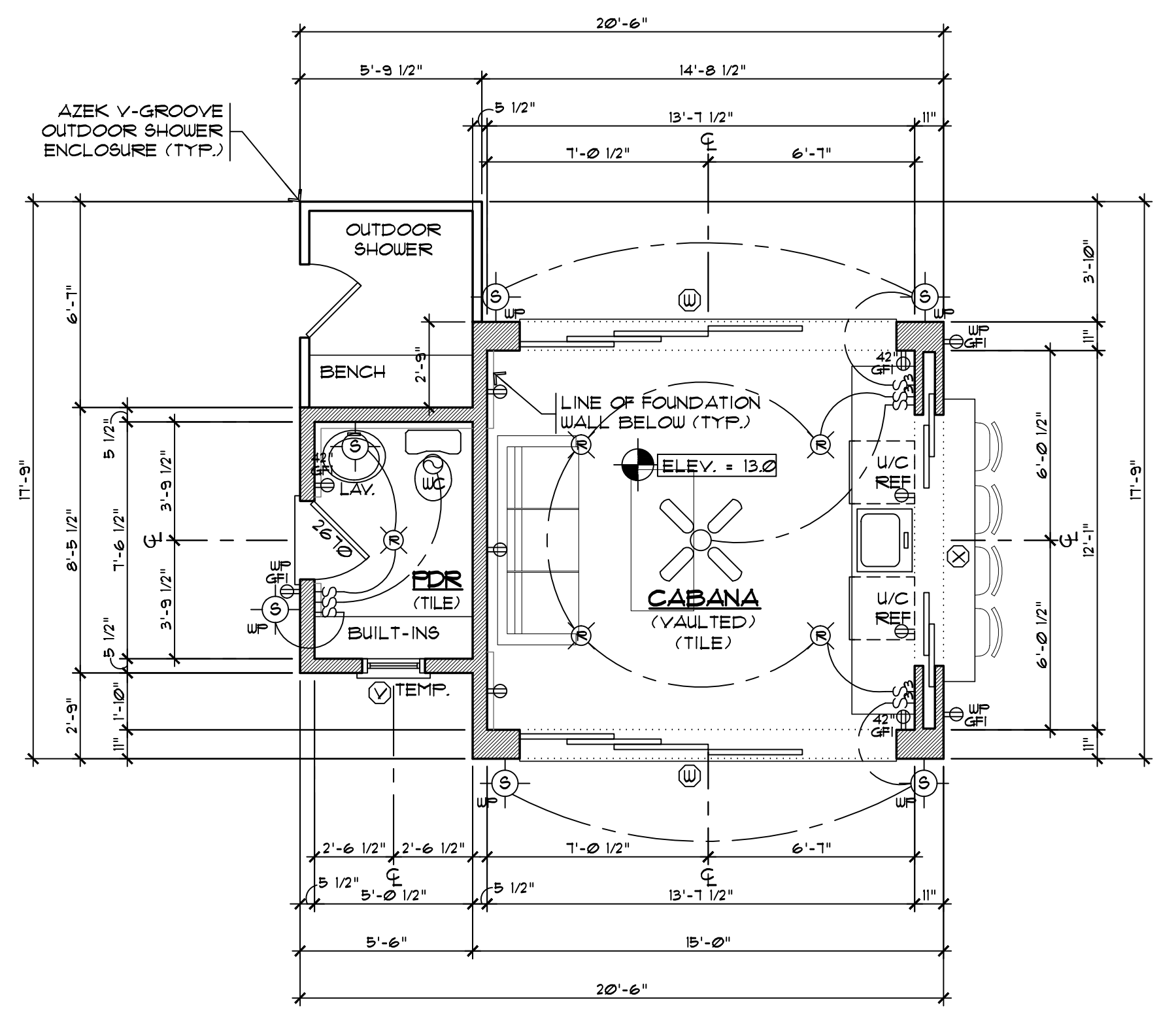
REFER TO S10 THROUGH S40 FOR ALL STRUCTURAL INFORMATION

SPRAYED OPEN & CLOSED CELL POLYURETHANE FOAM TO MEET OR EXCEED:

R-30 INSULATION FOR ROOFS AND FLOORS,  
R-21 INSULATION FOR 2"x6" WALLS AND  
R-21 INSULATION FOR 2"x4" WALLS

**NOTE:**

- FRESH AIR INTAKE INTO THE HOUSE SHOULD BE SUPPLIED THROUGH MECHANICAL SYSTEM.
- OPEN CELL SPRAY FOAM TO BE USED ONLY ABOVE THE D.F.E. USE CLOSED CELL SPRAY FOAM FOR ALL APPLICATIONS BELOW D.F.E.



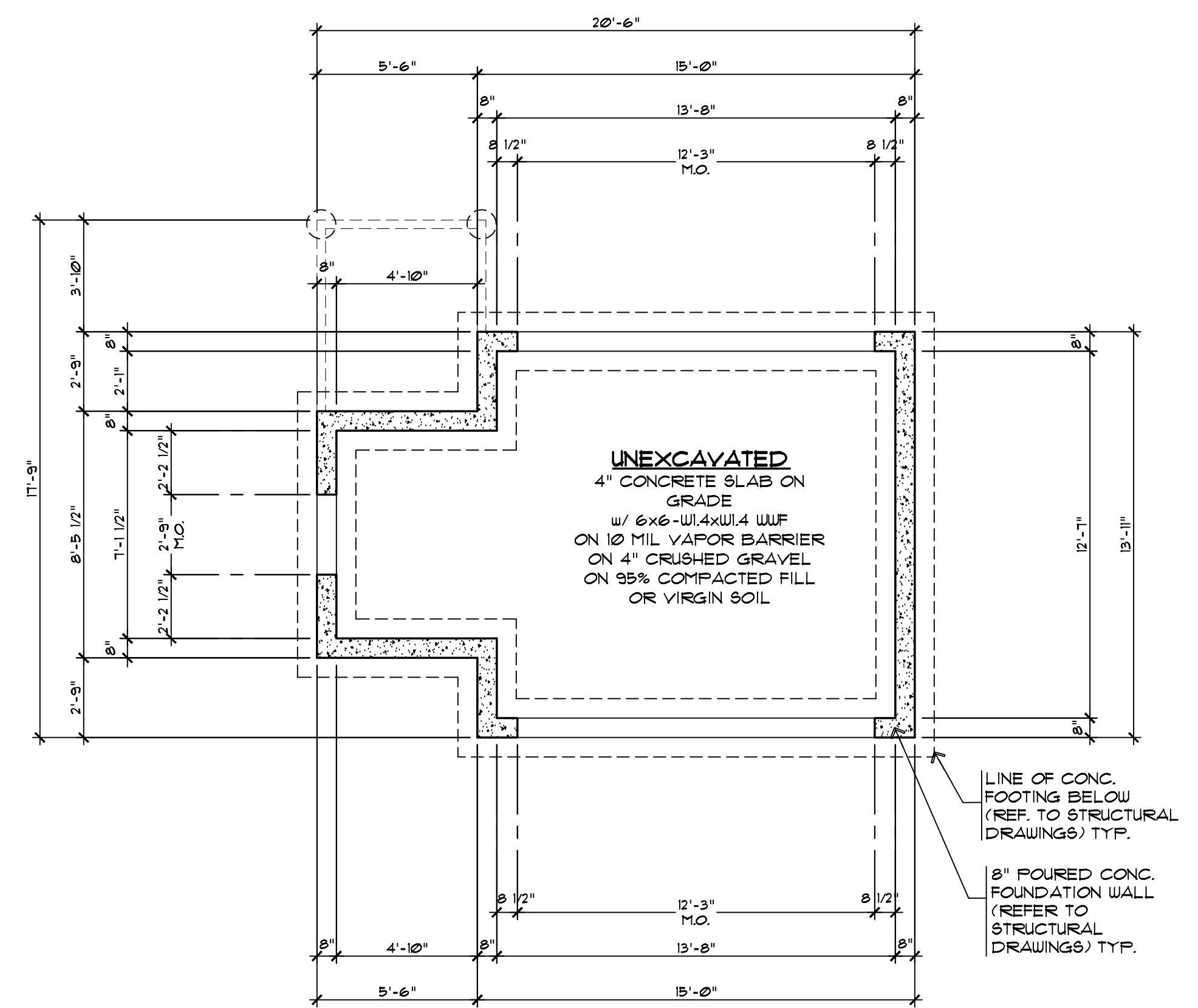
**CABANA FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
WINDOW #	MANUF.	WINDOW TYPE	PRODUCT#	WIDTH	HEIGHT	NOTES
V	MARVIN	AWNING	UAWIN2424	2'-0"	2'-0"	

WINDOW SCHEDULE						
DOOR #	MANUF.	WINDOW TYPE	PRODUCT#	WIDTH	HEIGHT	NOTES
W	MARVIN	MULTI-SLIDE UNI-DIRECTIONAL	UMSD12080	12'-0"	8'-0"	4-PANEL OXXX / XXXO
X	MARVIN	MULTI-SLIDE PRT. BI-DIRECTIONAL	UMSD8040	8'-0"	4'-0" (X**)	4-PANEL PXX - XXP

ALL WINDOWS & DOOR SPECIFIED TO BE MARVIN ULTIMATE SERIES  
(\*) DENOTES CUSTOM DIMENSION  
(\*\*) DOOR HEIGHT TO BE COORDINATED W/ TOP OF COUNTER.



**CABANA FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

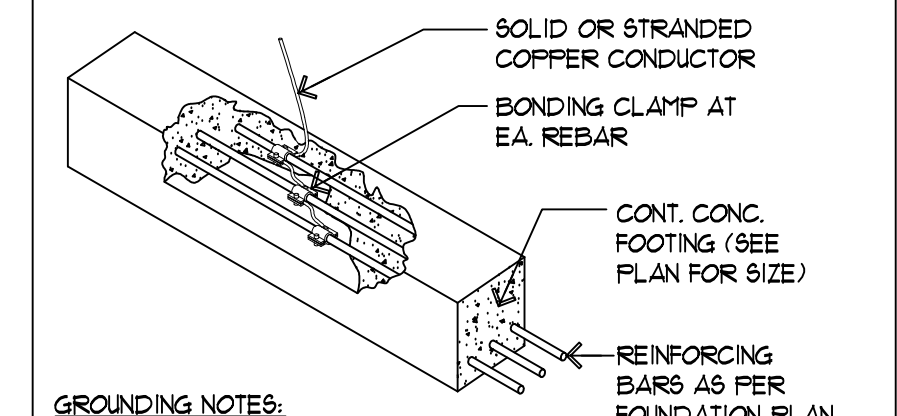
**PARTITION LEGEND**

	NEW POURED CONG. FOUNDATION WALLS
	NEW 2x PARTITION WALLS
	NEW 2x 1-HR FIRE RATED PARTITION WALLS

**ELECTRICAL LEGEND**

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DUPLEX RECEPTACLE OUTLET
	1/2 SWITCHED DUPLEX RECEPTACLE OUTLET
	GROUND FAULT RECEPTACLE - 42" AFF
	WATERPROOF RECEPTACLE
	FLOOR RECEPTACLE
	SURFACE MTD. CLG. FAN
	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK UP
	SURFACE MTD. INCAND. FIXTURE
	RECESSED INCAND. FIXTURE
	PENDANT INCAND. FIXTURE
	EXHAUST FAN/ LIGHT FIXTURE COMBINATION (SWITCHED SEPARATELY)
	CARBON MONOXIDE DETECTOR (BATT. OP.)
	SMOKE DETECTOR & CARBON MONOXIDE DETECTOR COMBINATION UNIT

**GROUNDING DETAIL**



- GROUNDING NOTES:**
- ALL CONCRETE FOOTINGS CONTAINING A MINIMUM #4 REINFORCING RODS AT A MINIMUM 20" IN LENGTH SHALL HAVE AN ELECTRICAL BONDING CLAMP INSTALLED PRIOR TO APPLYING CONCRETE MINIMUM EXPOSURE OF 12".
  - ENCASE BONDING CLAMP CONNECTION BY AT LEAST 2 INCHES OF CONCRETE.
  - REBAR MUST BE BARE, GALVANIZED, OR OTHERWISE CONDUCTIVITY COATED STEEL.
  - REBAR MUST NOT BE COATED WITH EPOXY OR OTHER INSULATION.
  - LENGTHS OF REBAR MAY BE CONNECTED TOGETHER TO FORM AN EXCELLENT LOW-RESISTANCE GROUNDING ELECTRODE.
  - COPPER, NOT ALUMINUM, MUST BE EMPLOYED AS GROUNDING CONDUCTOR WHERE IN EARTH OR SUBJECT TO CORROSIVE CONDITIONS.
  - WHERE THE GROUNDING ELECTRODE IS A METAL UNDERGROUND WATER PIPE, A SUPPLEMENTAL ELECTRODE MUST BE USED.

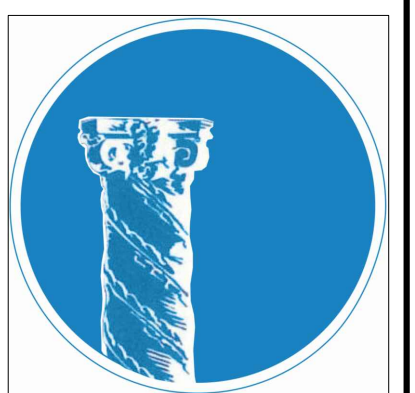
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REVISIONS:

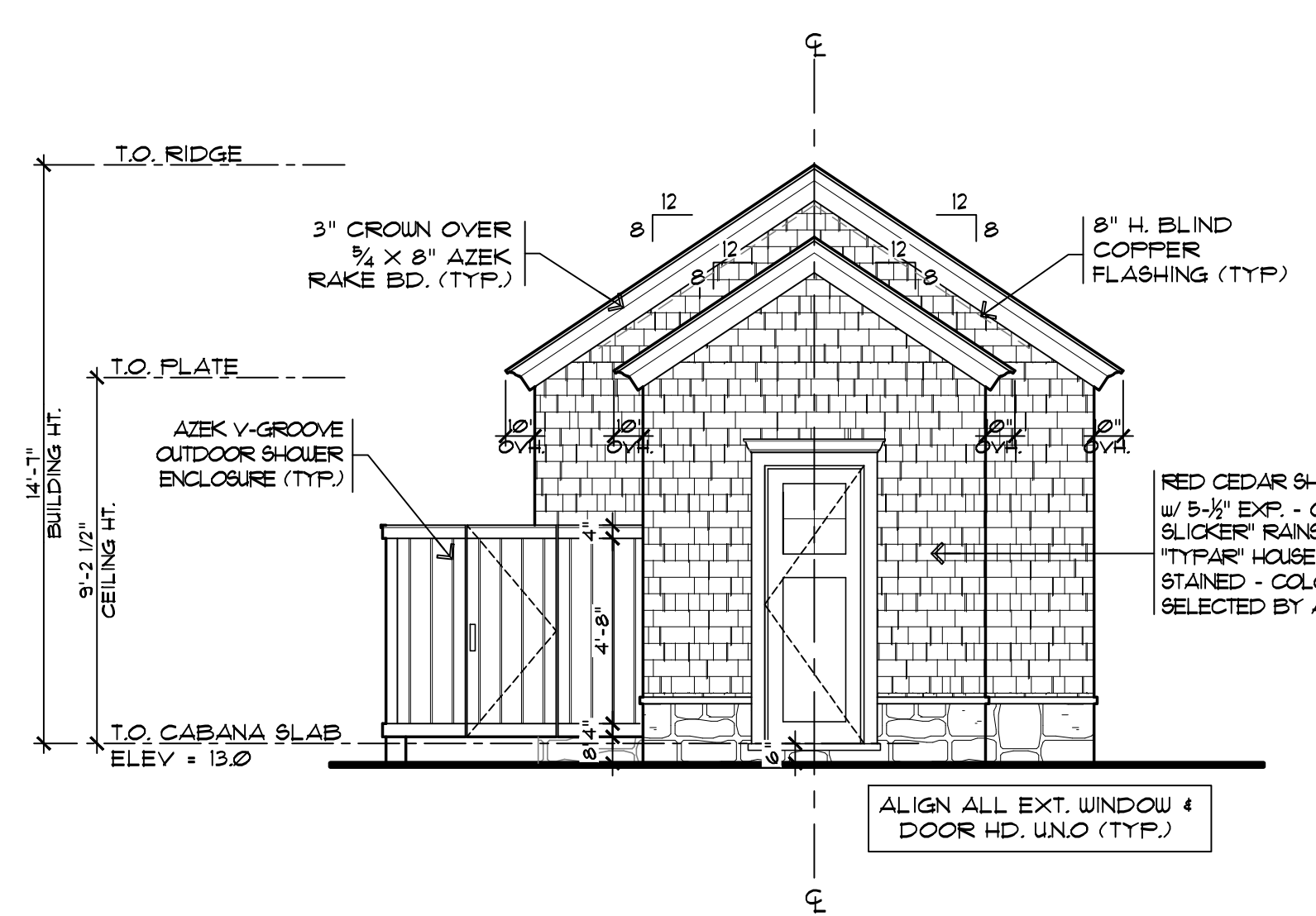
COMM. 2413

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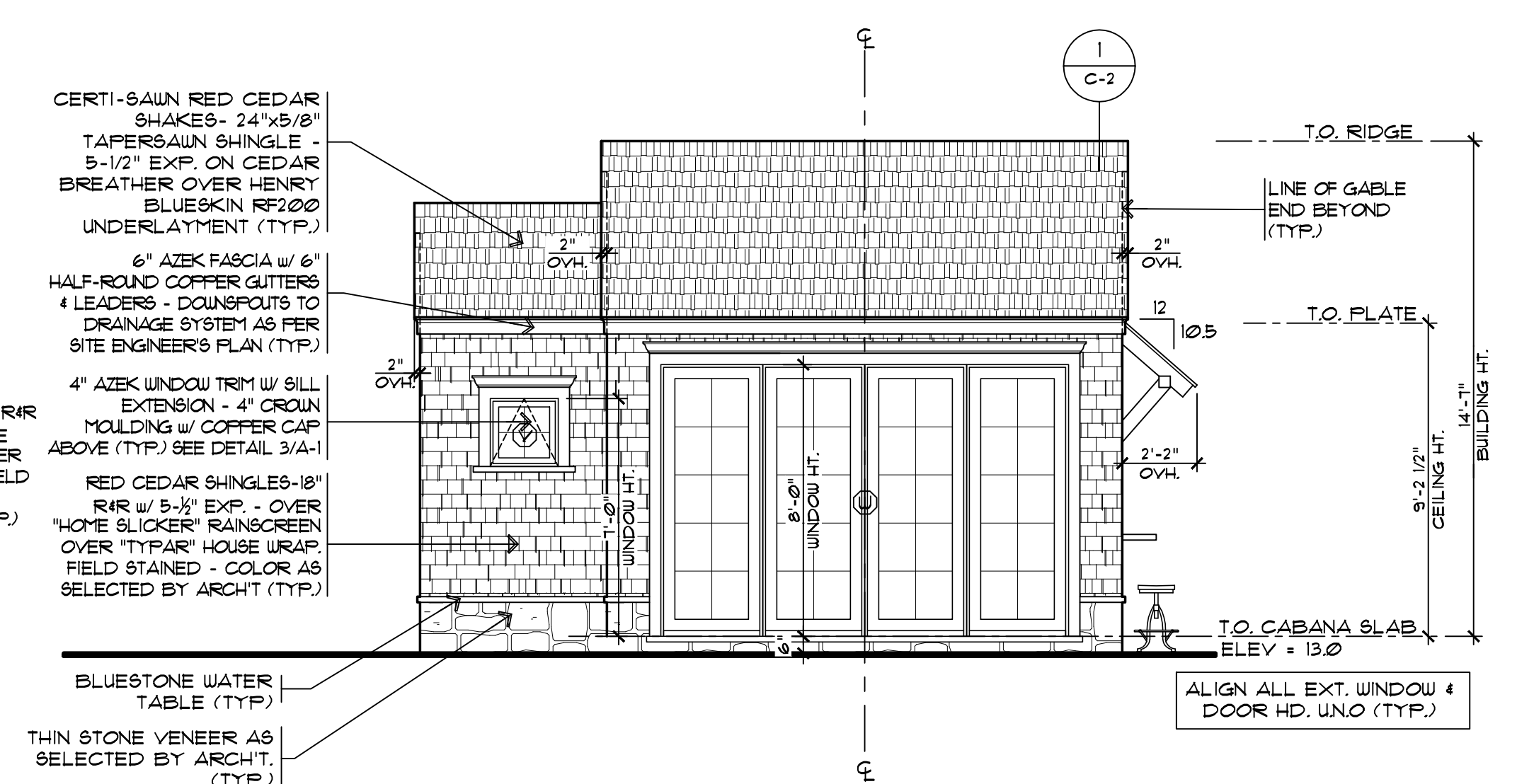
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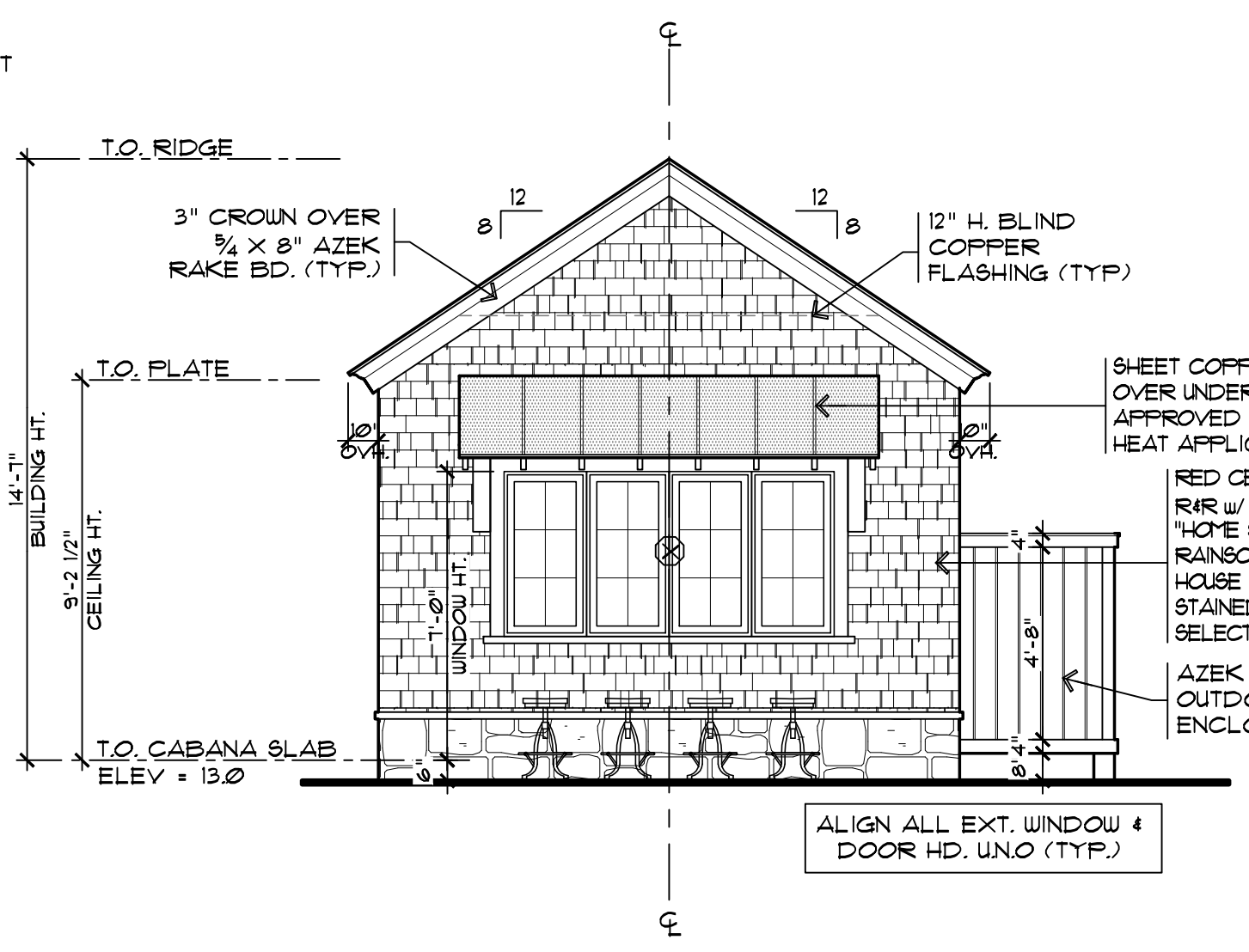
C-2



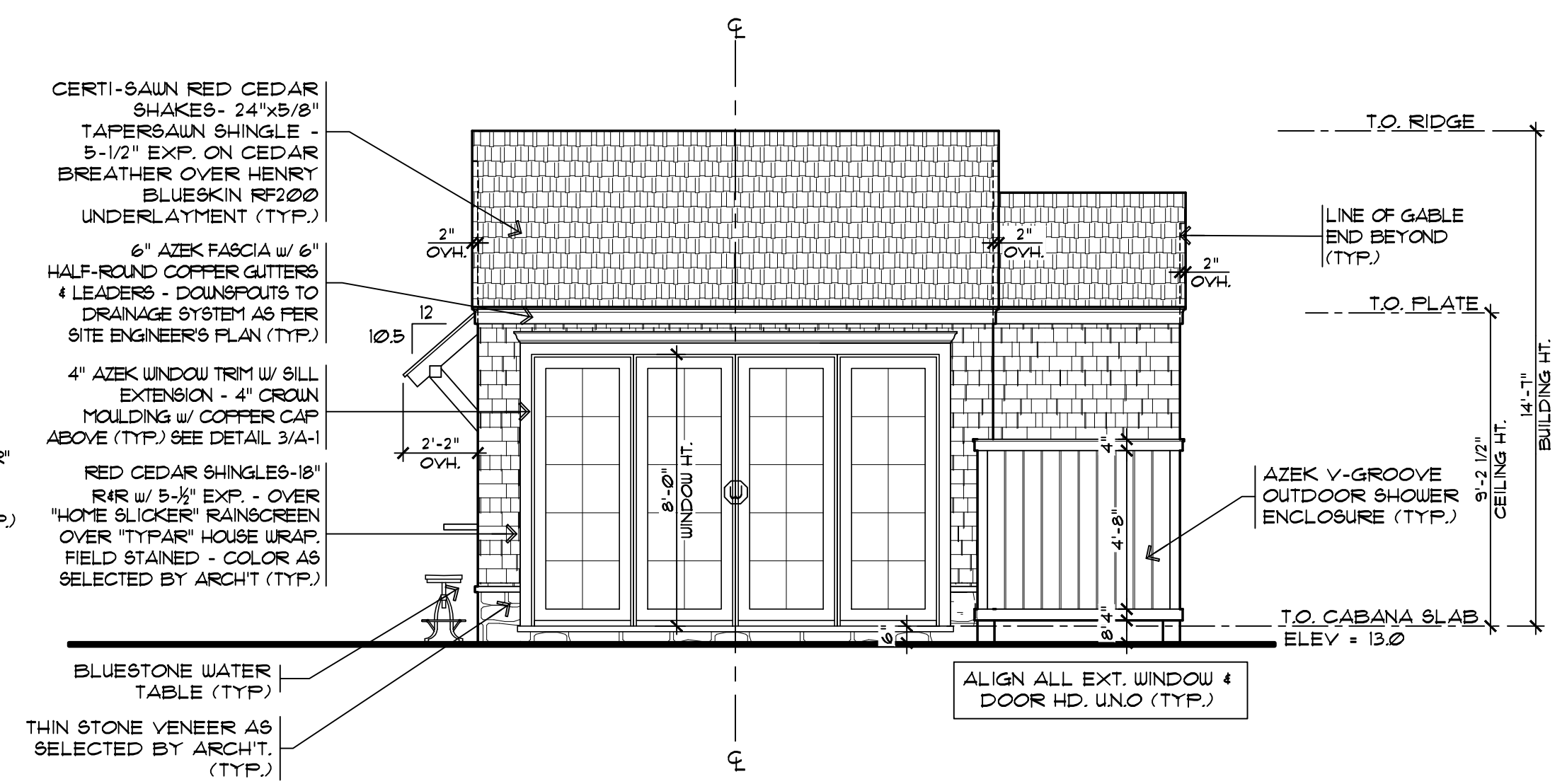
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



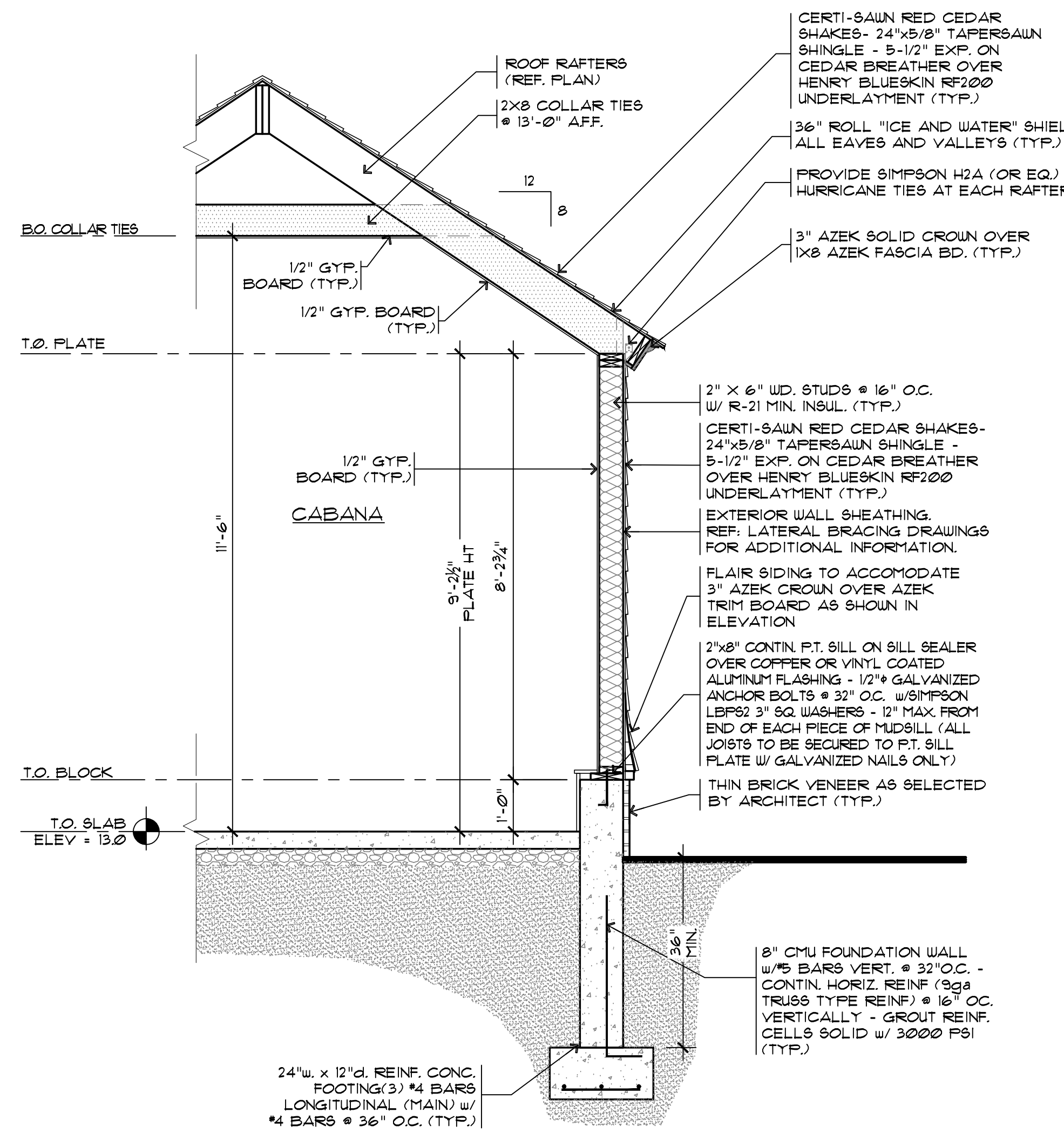
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WALL SECTION**  
SCALE: 1/2" = 1'-0"

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