



Borough of Rumson
BOROUGH HALL
80 East River Road
Rumson, New Jersey 07760-1689
rumsonnj.gov

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

John Timoni & Michele Leiro	john.timoni1@gmail.com	908-705-6849
Name of Applicant	Email	Phone Number
105 South Ward Ave., Rumson, NJ 07760		139 22
Property Address	Block	Lot

Name of Owner (IF NOT APPLICANT)

A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.

F. Bradford Batcha, Esq., 600 Broad St., Shrewsbury, NJ 07702, 732-747-8300, brad@batchalaw.com

Applicant's Attorney and contact information (if any)

James T. Daley, 273 First St., Keyport, NJ 07735, 732-739-0837, gymteedaily@aol.com

Applicant's Architect and contact information (if any)

Applicant's Engineer and contact information (if any)

Signature of Applicant or Agent

March 9, 2026

Date

Proposed plan To raise and existing single family residential structure by 6' for flood compliance and create storage and garage area on the ground level. Install a new and expanded foundation.

Realign driveway for new garage, replace rear deck and steps.

Hardship Encountered Existing non-conforming structure must be raised for flood compliance.

Variances Requested Rear yard setback, where 40.88 exists, 40.88 proposed, 35 permitted (30.22 to deck). Side Yark Setback where 3.42 exists, 3.416 proposed, 6 required. Building coverage, 1351 exists, 1741 proposed, 1499 permitted. Floor area, 2,525 existing, 3,497 proposed, 2,538 permitted. FAR 0.37 existing, 0.51 proposed, 0.37 permitted.



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Marie DeSoucey
Land Use & Development Official

office 732.842.3300
fax 732.219.0714
mdesoucey@rumsonnj.gov

Denial Memorandum

Date: January 31, 2026
Updated April 8, 2026, June 6, 2026 and July 3, 2026

Applicant: John Timoni and Michele Leiro
Address: 105 South Ward Avenue, Rumson, NJ 07760
Block 139, Lot 22, Zone: R-5

I have reviewed the revised Land Use & Development Permit application for improvements at 105 South Ward Avenue in Rumson. This review is based on the latest architectural revision dated June 10, 2026.

The existing premises is an oversized lot that conforms to the minimum lot area and lot shape requirements. The existing 2-story principal dwelling was built at the maximum permitted floor area for this lot and is nonconforming due to the minimum and combined side yard setbacks (existing: 3.4'/13.8', required: 8'/18'). The applicant proposes to raise the dwelling approximately six (6) feet for flood compliance; construct a new expanded foundation with garage/storage space below; add a half-story with habitable attic space above; construct additions to the front, side, and rear elevations; realign the driveway to access the new garage; and construct a new rear deck and steps within the required rear yard setback.

As per Borough Ordinance 22-7.3f, relating to nonconforming buildings, a nonconforming building may not be enlarged, extended, increased in height, width or depth; moved or relocated; or modified in such a way so as to increase habitable or usable space unless it is changed to conform and/or the enlargement, extension or addition conforms to all requirements of this chapter and will not result in the creation of any new nonconformities.

Based on the submitted plans and documents, the application was **denied** for the following:

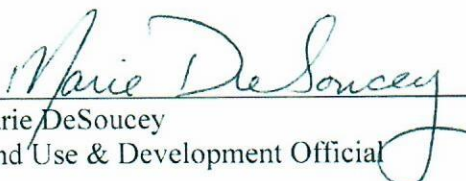
- Expansion of habitable space in a nonconforming dwelling **(22-7.3 New)**
 - Lifting dwelling while intensifying side yard setback nonconformity with two additions, resulting in a 51.5' linear side wall.
(Sched 5-1 Existing nonconformity – Intensified)
- Buildings with a linear side greater than 35' long are required to add an additional 2' to the required SYSB. **(22-7.7g New)**
- Proposed FAR of 0.51, whereas 0.37 is permitted, and 0.37 currently exists. **(Sched 5-3 New, 38%, d-var required)**

- Proposed Floor Area of 3,497 SF, whereas 2,538.5 SF is permitted, and 2,525 SF currently exists. **(Sched 5-3 New, 38% over)**
- Proposed Building Coverage of (1,782) SF, whereas 1,499 SF is permitted. 1,351 SF currently exists. **(Sched 5-4 New)**
 - *Note: The Zoning chart lists the building coverage as 1,741-sf, the calculations show 1,782-sf.*
- Lot depth (Borough definition) is 130'.
 - The proposed rear raised deck with rear setback of 30.4' whereas 39' is required. **(Sched 5-1 New)**
 - Entry steps in a flood zone are permitted to extend an additional 5' in the RYSB. Proposed rear steps setback at 27.4', whereas 34' is required. **(Sched 5-1 New)**
 - *Note: The zoning chart identifies the proposed rear yard setback as 40.88 feet; however, the correct setback to the proposed deck is 30.44 feet, where 39 feet is required. The proposed steps are located 27.4 feet from the rear property line, where 34 feet is required.*
- Proposed habitable attic eave height of 29.5 whereas 26' is permitted. **(Sched 5-2 New)**
- The extent of the project's foundation, revisions and additions on three sides of the dwelling appear to constitute more than partial destruction of the existing dwelling. The applicant should be prepared to address whether the existing dwelling qualifies for an exemption from the restriction on rebuilding or expanding a dwelling that has been more than partially destroyed pursuant to Section 22-7.3
 - The request for a waiver from this requirement shall be included in the public notice **(Variance and/or Waiver required)**

Documents Reviewed:

- Architectural Plans for Zoning Review by James T. Daley Architect & Assoc., dated December 16, 2025, (revised December 19, 2025; January 8, 2026; February 9, 2026; April 8, 2026, June 10, 2026), consisting of four (4) sheets.
- Copy of Boundary & Topographic Survey, Block 139 Lot 22, prepared by CPL, dated December 1, 2025, no revisions, one sheet.

If you have any questions or require additional information, please do not hesitate to contact me.


 Marie DeSoucey
 Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
 David M. Marks, P.E., C.M.E., Borough Engineer
 Sabine O'Connor, Technical Assistant

Borough of Rumson
Zoning Board of Adjustment

Public Notice

Please take notice that on July 23, 2026 at 7:30 pm at the Rumson Municipal Building, 80 East River Road, Rumson, New Jersey, the Zoning Board of Adjustment of the Borough of Rumson will hold a public hearing on the application of John Timoni and Michele Leiro at which time all interested persons will be given an opportunity to be heard. The location of the premise in question is in the R-5 Zone as shown on the Borough Tax Map, Block 139, Lot 22 and commonly known as 105 South Ward Avenue, Rumson, New Jersey. The Applicant is applying for several bulk variances needed to raise and expand a residential home as follows:

- Expansion of existing side yard setback nonconformity of 3.42' where 6.0' is required due to lifting of the dwelling with 51.5' linear wall.
- Maximum Floor Area Ratio (FAR) proposed is 0.51 where 0.37 is permitted and 0.37 is existing.
- Maximum Floor Area of 3,497 sf is proposed, 2,538.5 sf is permitted and 2,538.5 sf is existing.
- Maximum Building Coverage of 1,782 sf, where 1,499 sf is permitted and 1,351 sf is existing.
- Raised rear deck has a setback of 30.44' where 39' is required.
- Entry steps setback is 27.44' where 34' is required.
- Applicant will request a waiver from any prohibition to rebuild or expand due to partial destruction, if applicable under 22-7.3
- Proposed habitable attic eave height of 29' where 26' is permitted.

At the time of the hearing the applicant will also seek and any and all additional variances, approvals and waivers as recommended or may be necessary in the opinion of the board and its professionals after review of plans and testimony.

All persons interested in this application will be given ample opportunity to be heard at the above. A copy of the application and supporting documents are on file at the Rumson Municipal Building, 80 East River Road, Rumson, New Jersey and can be examined on the Borough Website (www.rumsonnj.gov) under the "Government" tab, then selecting "Zoning Board".

F. Bradford Batcha, Esq.
Attorney for Applicant
Batcha & Batcha, PC
600 Broad Street
Shrewsbury, New Jersey 07702
732-747-8300

EXT. 5" CLIPBOARD.

d with an "X": ☒

SITE PLAN

Douglas Fir Select Structural
d.

Joists, beams and posts.
all posts.

all openings through
and partitions parallel with

1 wall openings 6'-0" wide
and beams spanning 6'-0"
members.

stiffeners, squash blocks,
recommended by manufacturer.
r.

number up. No structural
se. Members shall not be
notations on notching
on notching composite
grade to untreated lumber
hangers, braces and
framing (products by
s at all roof-to-wall
and all other
wood girders, provide
Where girders are noted
with the bottom of
nailing and other

of 3'-0" below finished
noting shall be sloped not
l. Footings shall be

soil bearing capacity
under all or part of
justify Architect for
oil, free of frost. If
supervision of a N.J.

simultaneously.
formed until floors

Also fill solid all

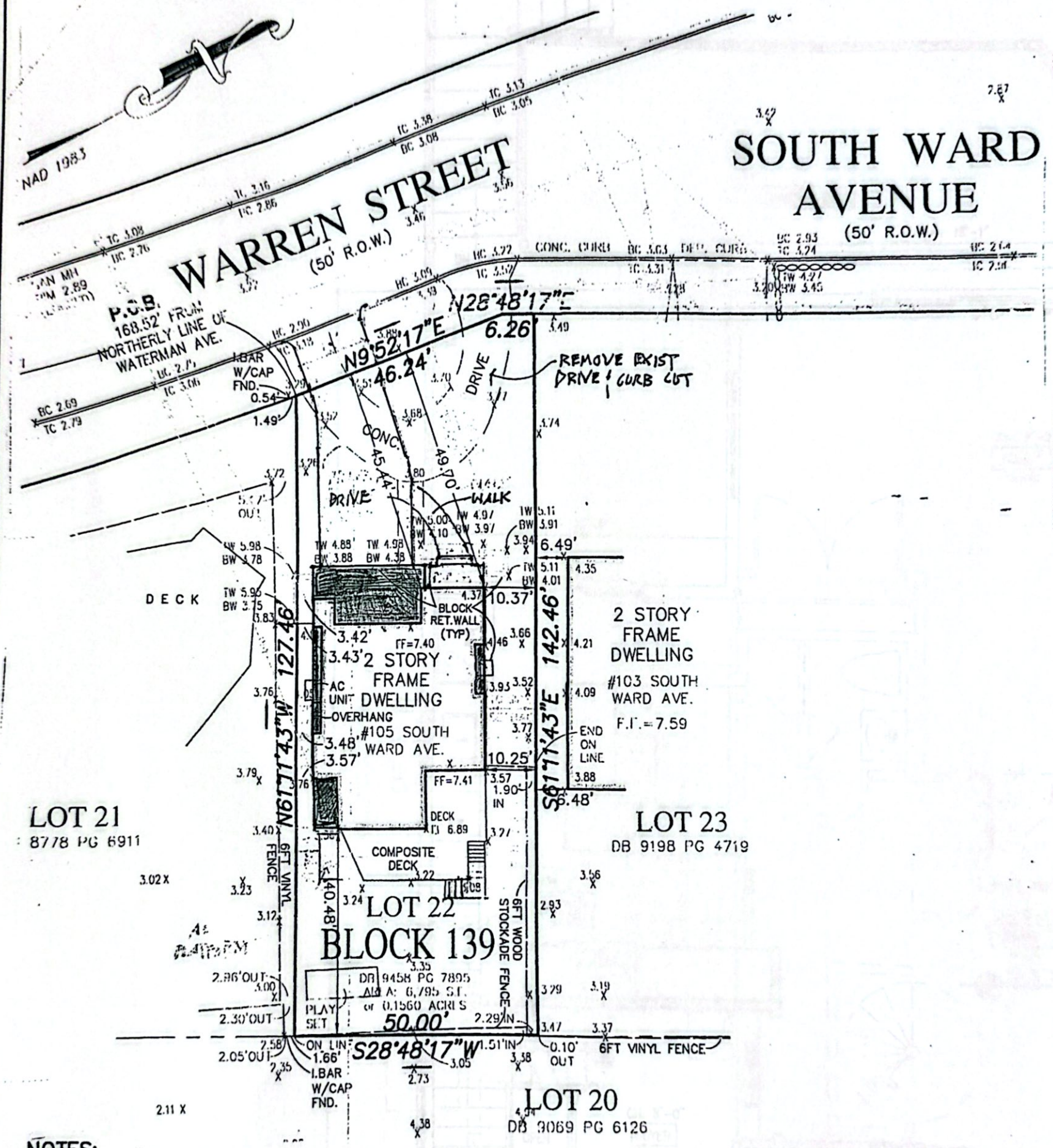
be provided
vertical spacing, (every
n top of footing to
provide at every
wall openings,
d provide at every

more than 3/16"
than 3/8" over

passage of an

outside diameter
and rails on both

footing



NOTES:

1. THIS SURVEY IS WAS PREPARED WITHOUT A CURRENT TITLE REPORT AND IS SUBJECT TO EASEMENTS AND/OR RESTRICTIONS WHICH ONE MAY DISCLOSE.
2. THIS SURVEY WAS PREPARED WITHOUT AN UNDERGROUND UTILITY MARKOUT. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND A UTILITY MARKOUT SHOULD BE OBTAINED BEFORE ANY DIGGING OR CONSTRUCTION ONSITE OCCURS.
3. TOPOGRAPHIC INFORMATION IS IN THE NAVD88 DATUM AND IS BASED ON USGS MONUMENT #KU07086 ELEVATION 8.30.
4. PROPERTY LIES IN THE R-5 ZONE ON THE BOROUGH OF RUMSON ZONING MAP.
5. PROPERTY LIES WITHIN ZONE "AE" ELEVATION 9 AS SHOWN ON THE MONMOUTH COUNTY FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP #34025C0201F, PANEL #201 OF 457 EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY ALSO LIES WITHIN ZONE "AE" ELEVATION 8 AS SHOWN ON THE MONMOUTH COUNTY FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP #34025C0201G, PANEL #201 OF 457 DATED JUNE 20, 2018.

MAP REFERENCE:

1. PROPERTY KNOWN AS LOT 22 BLOCK 139 ON THE BOROUGH OF RUMSON TAX MAP SHEET 50 DATED JANUARY JANUARY 1973 AND REVISED JULY 31, 2012.

DEED REFERENCE:

1. BOUNDARY INFORMATION SHOWN IN ACCORDANCE WITH A DEED BETWEEN RUSSELL W. LEIRO & LAUREN LEIRO (GRANTOR) AND JOHN TIMONI & MICHELE LEIRO (GRANTEE) RECORDED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON NOVEMBER 19, 2020 IN DEED BOOK 9458 PAGE 7895.

MICHAEL PUCCI PROFESSIONAL ENGINEER P.E. #115000000	RICHARD G. RUCHALSKI PROFESSIONAL LAND SURVEYOR P.L.S. #115000000	CPL partnership	BOUNDARY & TOPOGRAPHIC SURVEY LOT 22 BLOCK 139 105 SOUTH WARD AVENUE BOROUGH OF RUMSON MONMOUTH COUNTY, NEW JERSEY	FILE NO. 25043
JOSEPH M. DELUCIA REGISTERED PROFESSIONAL				DATE: DEC 1, 2025
				SCALE: 1"=20'
				DRAWN BY: KRK
				CHECKED

PROJECT NOTES

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IRC 2021 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset the opening enough to accommodate the full width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-ins shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repaired such that they are left as they were before the commencement of the work. Contractor shall clean all dirt and refuse caused by the work.

INFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranted when the job is complete.

SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS, products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surfaces and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

CONCRETE NOTES

STRENGTH: All concrete shall be controlled stone type with a minimum ultimate compressive strength of 3000 PSI for footings and 4000 PSI for slabs. All concrete shall comply with current A.C.I. requirements.

REINFORCING shall be new, high grade billet steel deformed bars in accordance with ASTM-A-615 grade 60, intermediate grade permissible for ties. Installation shall conform to A.C.I. Manual of Standard Practices. The length of reinforcing splices be 40 bar diameters minimum.

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed installations to the Owner for review, selection and approval of color, texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire qualified individuals to assess the existing building systems and to design and install all modifications/upgrades to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall capable be of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity and location of all phone jacks, cable jacks, thermostats, and speakers. Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm water to a point 15' minimum from building.

WALL OPENINGS: All windows, doors and other wall penetrations shall be flashed and sealed as recommended by manufacturer.

STEEL COLUMNS: All new steel columns and all existing steel columns in work area shall be painted with a zinc rich rust inhibitive paint.

GYP SUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings, verify type and quality level with Owner.

CLOSETS: All closets shall be provided with a wood rod and a wood

RECONSTRUCTION & UPGRADES

1. ELECTRICAL: Have a licensed Electrician make an assessment of all electrical components; replace any and all outlets below flood level; assess existing wiring; replace as necessary. Consider adding additional outlets and lights where desired, which may require another breaker panel. Consider upgrading service to largest service amount without replacing wiring to pole. Ensure safety of electrical system prior to reconnection.

2. HEATING/HVAC: Replace electric baseboard heaters, gas-fired furnaces, boilers and hot water heaters that were exposed to flood waters, as well as AC units. Remove ducts that were infiltrated or submerged in flood waters.

3. APPLIANCES: Replace all appliances that were exposed to flood waters (washer/dryer, stove, refrigerator, dishwasher, etc.).

4. NEW FINISHES: Once all exposed and flooded areas have been dried, re-install new affected materials (i.e. dry R-13 insulation below existing dry, blown-in cellulose or fiberglass batt insulation), new wall board to match existing thickness (verify if 1/2"), tape and spackle all new wall board to existing, sand and finish (3 coats), paint (3 coats: 1 primer, 2 finish), reinstall refurbished doors and trim, install all new flooring. Re-install all new floor finishes as required (tile, vinyl, wood, carpet, etc.). Where applicable, install new wood flooring, sand and finish with 3 coats. install all new base trim throughout after flooring.

5. RE-INSTALLING: The following items will be cleaned, treated for mold and re-installed: door trim/casings, doors, built-ins, kitchen cabinets (wipe down with soap and water and then treat with mold solution).

WOOD NOTES

GRADE: All lumber for framing shall be Douglas Fir Select Structural Grade or better clearly stamped and graded.

BLOCKING: Provide solid bearing under all joists, beams and posts. Provide solid blocking above sill plate below all posts.

DOUBLE FRAMING shall be provided around all openings through walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.

HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0" or more shall bear on a minimum of (2) 2x members.

TJI's (I-joists or engineered joists): Use web stiffeners, squash blocks, connectors and all other accessories as recommended by manufacturer. Use rim board manufactured by joist fabricator.

DETAILS: Set all beams and joists natural camber up. No structural valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching lumber and manufacture's data for limitations on notching composite wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by Simpson, Teco or equal). Use hurricane anchors at all roof-to-wall connections, all wall-to-foundation connections, and all other connections as required by code. For composite wood girders, provide bearing as per manufacture's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other connectors shall be as per building code.

FOUNDATION NOTES

DEPTH: Bottom of all footings shall be minimum of 3'-0" below finished grade. If footings are stepped, the line of the footing shall be sloped not more than one foot vertical to two feet horizontal. Footings shall be formed to their full depth.

SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J. Registered Geotechnical Engineer.

BACKFILLING: Do all interior and exterior backfilling simultaneously. Backfilling against foundation walls shall not be performed until floors or roof they support have been completely installed.

FILL SOLID with concrete all block cells below grade. Also fill solid all cells where anchors occur, and entire top course.

HORIZONTAL JOINT REINFORCING ("dur-o-wall") shall be provided for full thickness of walls as follows: at 16" o/c vertical spacing, (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher; and provide at every course for two courses above and below all masonry wall openings, extending 3'-0" beyond opening in each direction; and provide at every course for 5'-0" in each direction at all corners.

STAIR NOTES (RESIDENTIAL)

1. Stair to be minimum 36" wide.

2. Adjacent treads and adjacent risers shall not vary more than 3/16"

3. Tread depths and riser heights shall not vary more than 3/8" over the entire stair.

4. Guardrails at stair openings shall be 36" high min.

5. Max. rise between floors/landings to be 12'-0".

6. Guardrail balusters to spaced as to not permit the passage of an object 4" in diameter.

7. Handrails shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". Provide handrails on both sides of stairs.

8. All exterior stairs three risers or more shall have a footing

SITE PLAN

House Lift & Addition

Timoni Residence

105 South Ward Avenue

Rumson, NJ

Lot# 22 Block# 139

PLOT PLAN
Scale: 1/16"=1'-0"

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NO OTHER PERSON, ENTITY, COMPANY, ETC. MAY COPY ANY PORTION OF THESE PLANS WITHOUT CONSENT & APPROVAL OF THE ARCHITECT

ISSUE DATE	COMMENTS	SEAL
DECEMBER 16, 2025	PRELIMINARY – FOR REVIEW ONLY	NJ LIC #11519
DECEMBER 19, 2025	REVISED FOR ZONING	
JANUARY 8, 2026	REVISED FOR ZONING REVIEW	
FEBRUARY 9, 2026	REVISED PER ZONING COMMENTS	
APRIL 8, 2026	REVISED PER ZONING COMMENTS	
JUNE 10, 2026	REVISED PER ZONING COMMENTS	

Timoni – Rumson, NJ

JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07736
phone: 732-739-2684 fax: 732-739-0837

NJ LIC: #11519
DRAWN: JP
A-1

DRAWING LIST:

A-1 TITLE/NOTES

A-2 FOUNDATION & FIRST FL. PLANS

A-3 SECOND FL. & ATTIC/ ROOF PLANS

A-4 ELEVATIONS

PLAN SYMBOLS LEGEND

EXISTING WALL CONSTRUCTION - TO BE REMOVED.

EXISTING CONSTRUCTION TO BE DEMOLISHED

NEW WALL CONSTRUCTION -

NEW FOUNDATION CONSTRUCTION -

EXISTING DOOR TO REMAIN

NEW DOOR - NUMBER REFERS TO DOOR SIZE

SPACE NAME.

ALIGN SYMBOL.

BUILDING/SITE CHARACTERISTICS (FOR BLDG. PERMITS–NOT ZONING)

1. NUMBER OF STORIES	2.5
2. HEIGHT OF STRUCTURE	34.9 FT.
3. AREA – LARGEST FL.	1,600 SQ. FT.
4. NEW BUILDING AREA	972 SQ. FT.
5. VOLUME OF NEW STRUCTURE	11,860 CU. FT.
6. CONSTRUCTION CLASSIFICATION	VB
7. TOTAL LAND AREA DISTURBED	768 SQ. FT.
8. FLOOD HAZARD ZONE	AE 8
9. ADJUSTED BASE FLOOD ELEVATION	AE8+1=9 FT.
10. WETLANDS	YES
	NO X
11. MAX. LIVE LOAD	55 PSF.
12. MAX. OCCUPANCY LOAD	49 PERSONS
13. USE GROUP/ CATEGORY	RESIDENTIAL
14. WIND SPEED (PER ICC MAPS & ASCE 7):	120 MPH UP–LIFT RATING
15. EXPOSURE CATEGORY:	“B” IN COMPLIANCE WITH ASCE 7
16. SNOW LOAD (PER IBC&ASCE 7025):	30 PSF.

BUILDING DATA (INSIDE OF OUTSIDE WALLS)

	EXISTING	PROPOSED	TOTAL
GROUND FLOOR	1215 SF	362 SF	1577 SF
FIRST FLOOR	1258 SF	342SF	1600 SF
SECOND FLOOR	1267 SF	306 SF	1573 SF
ATTIC FLOOR	0 SF	324 SF	324 SF
TOTAL HABITABLE:		972 SF	3,497 SF

AREA CALCULATIONS (OUTSIDE WALLS)

GARAGE	1351 SF	390 SF	1741 SF
PORCH(S)	--	41 SF (c)	41 SF
SHED/ACCESS. STRUCT.	N/A	--	0 SF
BLDG. COVERAGE:		TOTAL:	1,782 SF
DRIVEWAY(S)	N/A	788 SF	788 SF
WALKWAY(S)	N/A	82 SF (c)	0 SF
PATIO(S)	N/A	--	0 SF
DECK(S) W/CREDIT	--	394 SF (c)	188 SF
PLAY SET	75 SF	--	75 SF
LOT COVERAGE (INCLUDES BLDG. COVER)	TOTAL:	2,758 SF	
(c) = CREDIT		(2,947.6 MAX)	

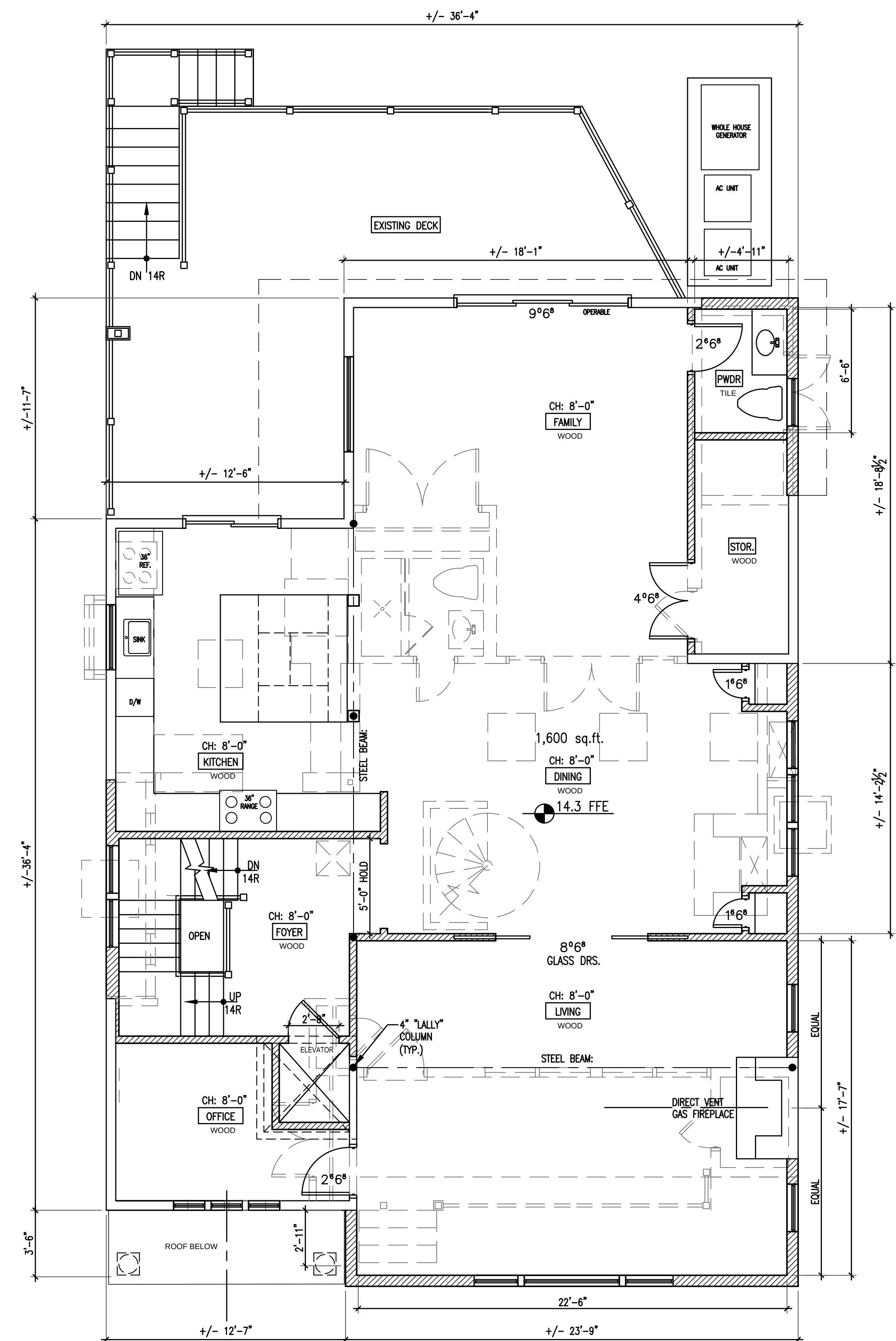
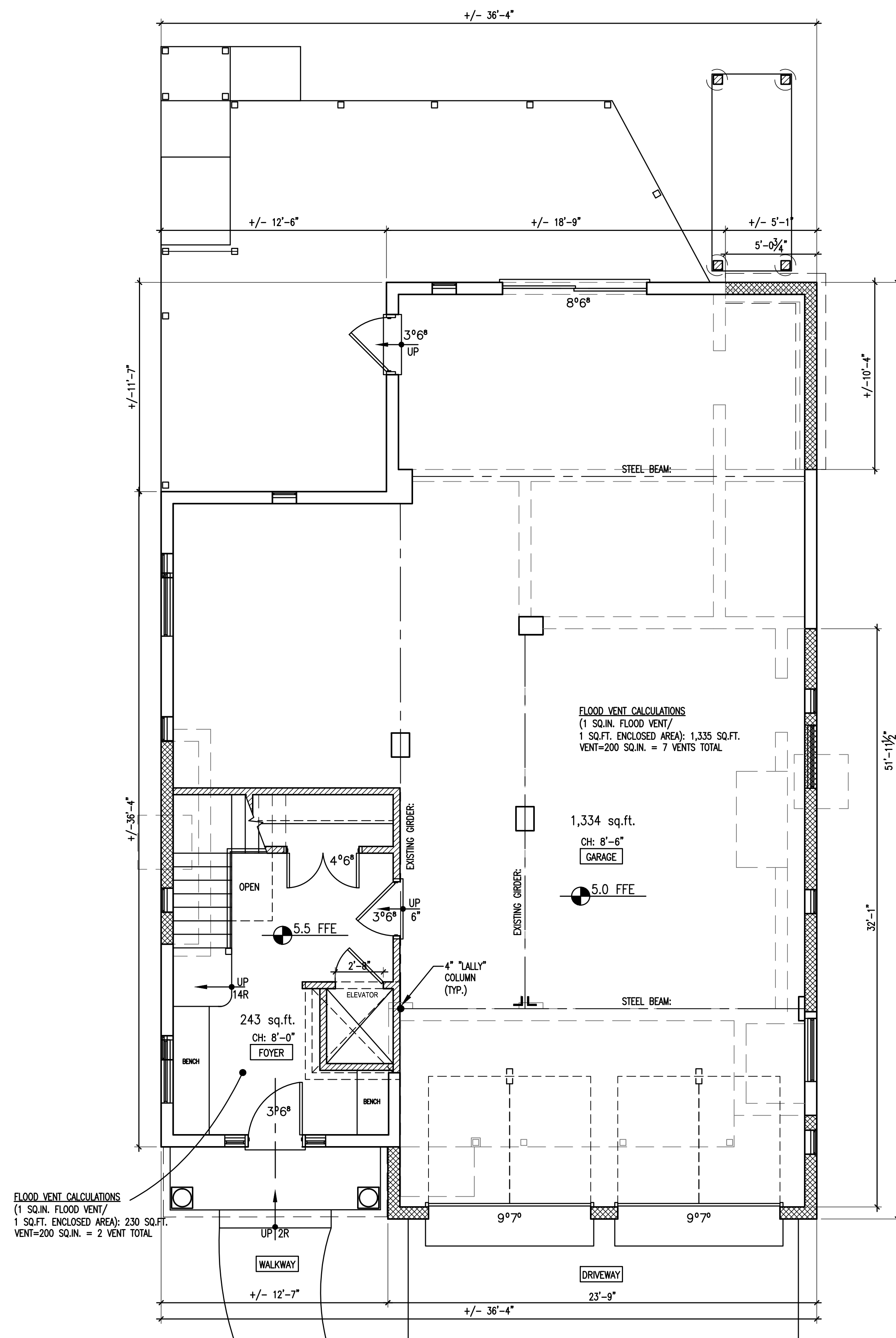
ZONING

ZONE: R-5

LOT: 22

BLOCK: 139

	REQUIRED	EXISTING	PROPOSED	^V INDICATES VARIANCE	COMMENTS
LOT AREA	6000 SF	6,795 SF	6,795 SF		
LOT FRONTAGE / WIDTH	50 FT	52.5 FT/50	52.5 FT/50		
LOT DEPTH	--	127.46 FT	127.46 FT		
FRONT YARD SETBACK	35 FT	45.44 FT	35.17 FT	V	RSB TO DECK 30.44"/*NOTE 14: 30% OF LOT DEPTH OR 35' WHICHEVER IS GREATER
REAR YARD SETBACK	39 FT	40.88 FT	40.88 FT	V	*NOTE 11: DISTANCE BETWEEN NEIGHBORS = 16 FT. (16.73 FT)
ONE SIDE YARD SETBACK–MIN.	8 FT (6')	3.42 FT	3.416 FT	V	*NOTE 7: IF WIDTH EXCEEDS MIN. ADD 1.5 FT FOR EACH FULL 5 FT
BOTH SIDE YARD TOTAL–MIN.	8/18 FT	13.79 FT	13.67 FT	V	85% = 1224
BUILDING COVERAGE–MAX. SF	1498.87 SF	1351 SF	1741 SF	V	
LOT COVERAGE (IMP)–MAX. F.A.R.	.37 (2538.5)	2525 SF	.51 (3497 SF)	V	2539 MAX FLOOR AREA
MAX. HABITABLE FLOOR AREA	2538.5 SF		3497 SF	V	
GROSS GROUND FL. AREA–MIN.	600 SF				
BUILDING HT./STORIES	35'/2.5	29'/2.5	34.9'/2.5		*42.9 TO NAVD 1988 (35.0 FT. ABOVE BFE–MAX.) GABLED ROOF – EAVE: 26 FT.
CIRCLE	34 FT–DIA.				



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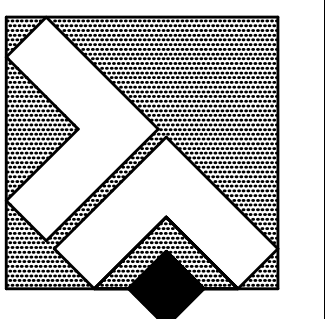
Timoni - Rumson, NJ

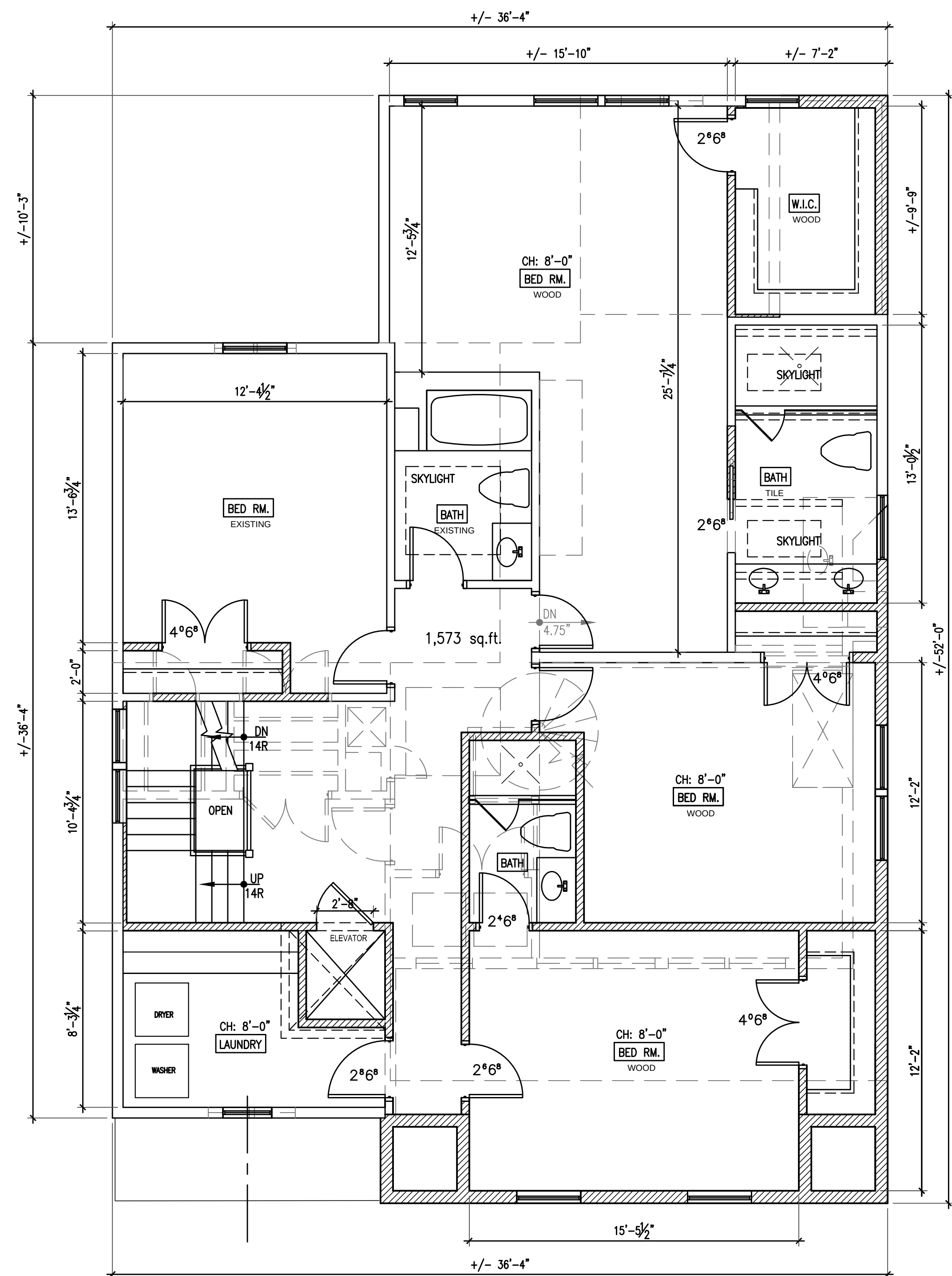
JAMES T. DALEY
A R C H I T E C T
+ A S S O C I A T E S
273 FIRST STREET, KEYPORT, NJ 07735
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NJ LIC:
#11519

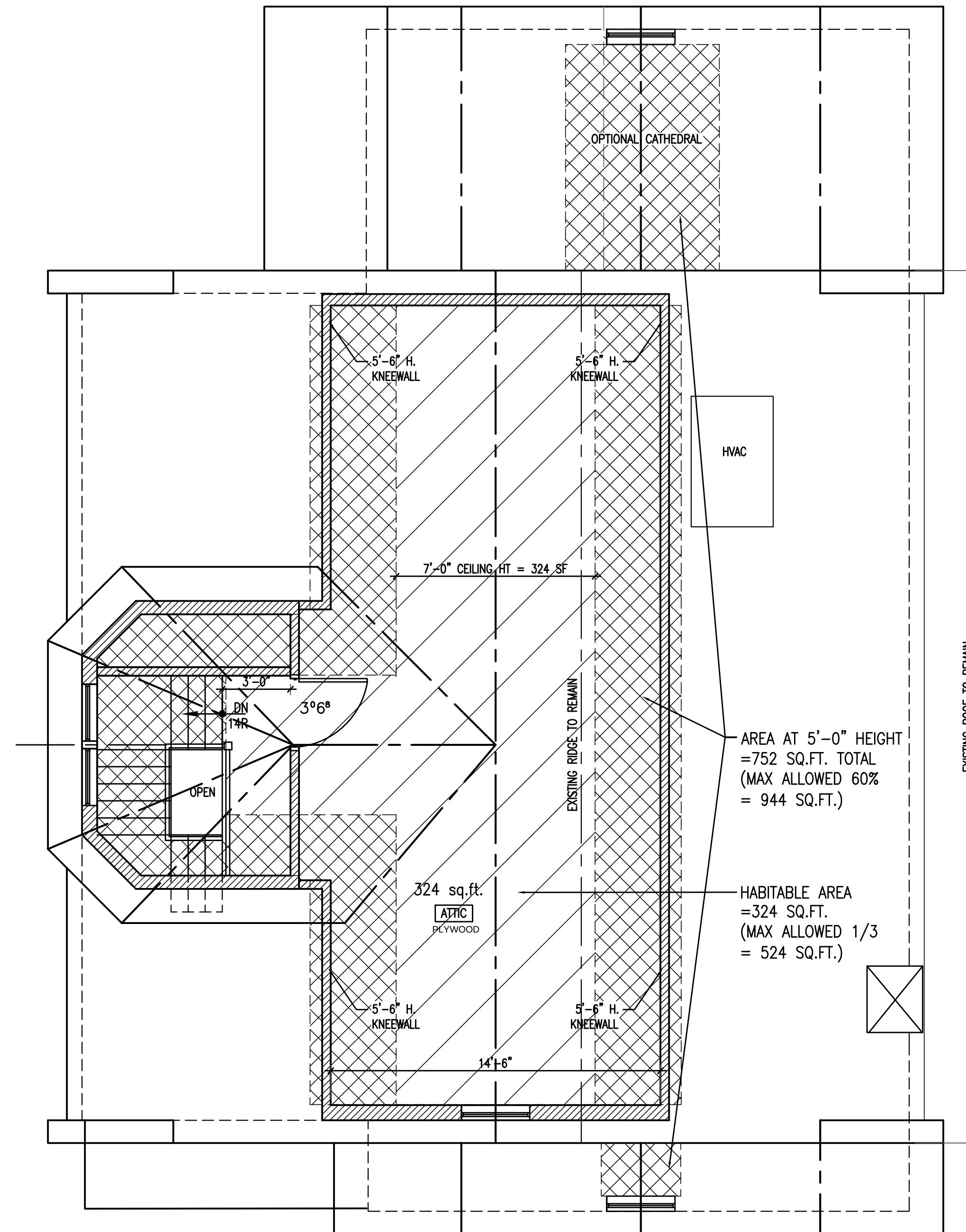
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A-2





SECOND FLOOR PLAN
Scale: 1/4"=1'-0"



ATTIC/ROOF PLAN
Scale: 1/4"=1'-0"

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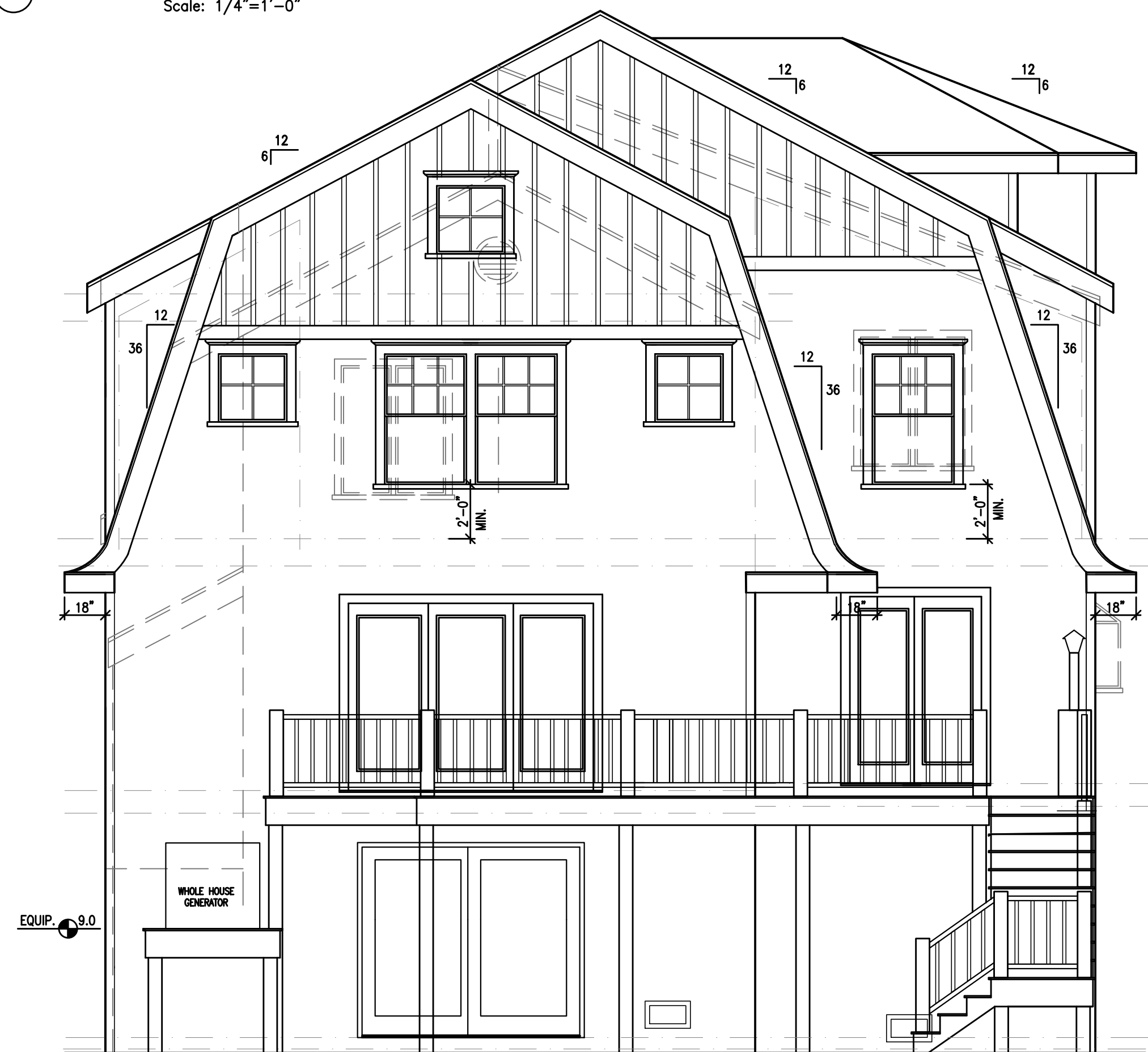
SIDE ELEVATION
Scale: 1/4"=1'-0"



SIDE ELEVATION
Scale: 1/4"=1'-0"



FRONT ELEVATION
Scale: 1/4"=1'-0"



REAR ELEVATION
Scale: 1/4"=1'-0"

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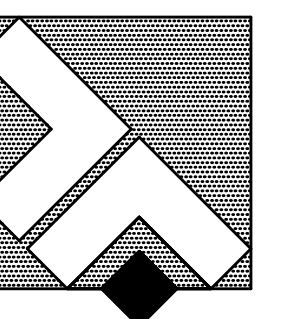
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#11519

DRAWN: JP

A-4



FILE NO.	25043
DATE:	DEC 1, 2025
SCALE:	1"=20'
DRAWN BY:	KRK
CHECKED BY:	RGR
DRAWING NO.	SV25043
SHEET NO.	1 OF 1