




Borough of Rumson  
BOROUGH HALL  
80 East River Road  
Rumson, New Jersey 07760-1689  
rumsonnj.gov

RECEIVED  
JAN 24 2025  
ZONING OFFICE

## APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

JUNE MARKOV	c/o maikins@aikinslaw.com	c/o 732-280-2606	
Name of Applicant	Email	Phone Number	
30 Grant Avenue		136	8
Property Address		Block	Lot
EUGENIA KARPINSKAIA			
Name of Owner (IF NOT APPLICANT)			
<i>A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.</i>			
c/o Mark R. Aikins, Esquire, 3350 Route 138, Building 1, Suite 113, Wall, NJ 07719; Telephone: 732-280-2606			
Applicant's Attorney and contact information (if any)			
Chris Rudman Architect			
Applicant's Architect and contact information (if any)			
11 Topaz Drive, Jackson, New Jersey 08527			
Applicant's Engineer and contact information (if any)			
TBS		January 24, 2025	
Signature of Applicant or Agent		Date	
Mark R. Aikins, Attorney for Applicant/Owner			
			
<i>Proposed plan</i> Renovations to single family residence with a second floor addition			
<i>Variances requested</i> PLEASE SEE ADDENDUM ATTACHED HERETO & MADE A PART HEREOF			

**ADDENDUM TO APPLICATION**  
**BLOCK 136, LOT 8 (30 GRANT AVENUE)**  
**MARKOV APPLICATION**  
**BOROUGH OF RUMSON**

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Applicant seeks to add an additional 1 ½ stories and a new two-story rear addition on an existing one story dwelling on a slightly oversized, conforming and interior lot, located in a flood zone.

Applicant seeks the following variances from *Rumson's Development Regulations Schedules 5 and 22* as follows:

- Expansion of a non-conforming building resulting in additional non-conformities.
- A "Use" or "D" variance is required, as the maximum floor area ratio permitted is 0.38 whereas 0.18 exists and 0.52 is proposed.
- Maximum floor area permitted is 2,450 square feet, whereas 1,202 square feet exists and 3,363 square feet is proposed.
- Building Coverage of 1,444 square feet is permitted, whereas 1,714 square feet exists and 1,807.6 square feet is proposed. (Existing non-conformity – Intensified).
- Minimum principal building side yard setback of 8.0 feet is required, whereas 5 feet exists. (Pre-existing non-conformity of the one-story dwelling that is being intensified with the proposed second floor and rear addition. (Existing non-conformity – Intensified).
- Minimum principal building combined side yard setback required is 18.0 feet, whereas 13.8 feet exists. This is a pre-existing non-conformity of the one-story dwelling that is being intensified with the proposed second floor and rear additions. (Existing non-conformity – Intensified).





**Borough of Rumson**  
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**Marie DeSoucey**  
Land Use & Development Official  
office 732.842.3300  
fax 732.219.0714  
mdesoucey@rumsonnj.gov

## Denial Memorandum

Date: December 4, 2024; *(updated February 12, 2025)*

Applicant: June Markov  
Address: 30 Grant Avenue                      Block                      Lot                      Zone  
Rumson, NJ 07760                      136                      8                      R-5

### Applicant's Request to:

Add 1-½ stories and a new two-story rear addition on an existing, nonconforming, one story dwelling, in the R-5 zone, on a slightly oversized, conforming, and interior lot.

Was **denied** for the following non-conformities:

**Borough of Rumson Ordinances/Development Regulations Schedule 5-1 Zoning District Regulations, Schedule 5-3A Permitted Maximum Floor Area, Schedule 5-4 Maximum Permitted Lot and Building Coverage, 22-7.3 Nonconforming Buildings, 22-7.8 Accessory Structures, 22-7.26 Driveways, and 22-9.2 Parking areas**

1. (22-7.3 a2) Expansion of a nonconforming building resulting in additional nonconformities. (New Variances)
  - (22-7.3c) if any nonconforming structure shall be more than partially destroyed, then the structure may not be rebuilt, restored or repaired, except in conformity with this chapter. (The extent of the additions will result in more than partially destroying the existing nonconforming dwelling. See ordinance for more).
  - (22-7.3e) a nonconforming building or structure may be altered, provided that the cost of alterations does not exceed, in the aggregate, 50% of the assessed value of the structures. The cost has not been determined at this time). This only applies when in compliance with 22-7.3f(2). (The proposed structure's floor area is increasing 280%. The cost has not been determined at this time).
  - 22-7.3f(2) The enlargement, extension or addition conforms to all requirements of this chapter and shall not result in the creation of any nonconformity related to the lot and the aggregate of all structures or building. (There are new variances being proposed).
2. (Sched 5-3A) Maximum Floor Area Ratio proposed of 0.52, whereas 0.18 is existing and 0.38 is permitted. **(D-Variance)**
3. (Sched 5-3A) Maximum Floor Area proposed of 3,363 SF, whereas 1,202 is existing and 2,450 is permitted. **(New Variance)**
4. (Sched 5-4) Building Coverage of 1,807.6 SF, whereas 1,714 SF is existing and 1,444 SF is permitted. **(Existing nonconformity – Intensified)**



5. (Sched 5-1) Minimum principal building side yard setback of 5', whereas 8.0' is required. This is a pre-existing nonconformity of the one-story dwelling that is being intensified with the proposed second-floor and rear addition. **(Existing nonconformity – Intensified)**
6. (Sched 5-1, note 16) Minimum principal building combined side yard setback of 13.8', whereas 18.0' is required. This is a pre-existing nonconformity of the one-story dwelling that is being intensified with the proposed second-floor and rear addition. **(Existing nonconformity – Intensified)**
  - *When the FA exceeds 85% of the maximum permitted, the minimum SYSB and Combined SYSB are increased from 6' / 16' to the new setbacks of 8' / 18', respectively.*
7. (22-9.2b5 (c)) Parking areas shall not be located in any required front yard. **(Existing nonconformity – unchanged).**
8. (22-7.26h) Proposed driveway width of 16.2', located in the front yard setback, whereas the permitted width of drive serving the garage is 10' (garage door + 2'). **(Existing nonconformity – unchanged).**
9. Masonry mailbox installed in public right-of-way. The Zoning Board does not have the authority to grant this relief. This request would have to be made to the Governing Body.
10. Zoning Chart Information requiring correction:
  - To comply with half-story status, please provide the proposed area that is greater than 5' above the second floor. This cannot be greater than 60% of the floor area below it. (Half story status is <60% of the floor below it, habitable attic is <1/3 of the floor below it).
  - Note 2: the maximum permitted floor area 'cap' refers to properties in the R-5 Residential Zone that result in floor area calculations greater than 3,500 SF (properties greater than 10,000 SF).
  - Note 5: as shown, the proposed rear yard setback is 39'-2.5". Please correct in Zoning Chart

The Land Use Permit review is based on:

- Architectural drawings prepared, signed & sealed by Chris Rudman, Architect, dated November 15, 2024 for zoning, no revisions, consisting of seven (7) sheets.
  - Sheet (SP-100) prepared by Chris Rudman, rev (1) November 28, 2024.
- Response Memo from Chris Rudman, AIA, dated November 30, 2024.
- Copy of the Final Survey As-Built for Lot 8 in Block 136, prepared by Lakeland Surveying, signed by Marc J. Cifone, PLS, dated October 21, 2015, no revisions, one sheet.
- Copy of Foundation Plan and General Notes, prepared by Matrix New World, signed by Sean M. Savage on February 18, 2015, one sheet (PHASE R161).

If you have any questions or require additional information, please do not hesitate to contact me.

  
Marie DeSoucey  
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator  
David M. Marks, P.E., C.M.E., Borough Engineer  
Sabine O'Connor, Technical Assistant





Borough of Rumson  
BOROUGH HALL  
80 East River Road  
Rumson, New Jersey 07760-1689  
rumsonnj.gov

Marie DeSoucey  
Land Use & Development Official  
office 732.842.3300 x107  
fax 732.219.0714  
mdesoucey@rumsonnj.gov

## Memorandum

Date: November 20, 2024

Applicant: June Markov  
Address: 30 Grant Avenue                      Block                      Lot                      Zone  
Rumson, NJ 07760                      136                      8                      R-5

### Applicant's Request to:

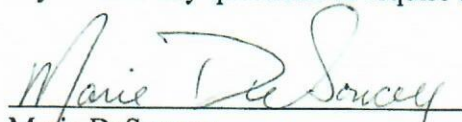
Construct a 217 square foot first floor addition and 1,652 square foot second floor addition to an existing one-story, single dwelling on a slightly oversized lot in the R-5 residential zone.

Was deemed incomplete or in need of revision for the following:

1. Current survey not included with application.
2. Provide support that the current foundation can withstand the weight of the additional construction. This must be completed by a licensed professional.
3. Half-story status: What is the attic floor area with side walls at five feet, or greater, above the attic floor.
4. Area of the front porch with the balcony above cannot be a credited reduction to building/lot coverage and may not extend beyond the primary dwelling front yard setback.
5. Proposed generator may not be greater than 24 kW.
6. Add to plan: Proposed front stairs are in the front yard setback which is permitted per Schedule 5-1, note 20.
7. Entry steps and landing do not count towards lot area, Schedule 5-1, note 5e.
8. Max driveway width serving an attached garage is garage door width plus two feet.
9. Zoning Chart
  - a. Required rear yard setback is 49', Schedule 5-1, note 14.
  - b. Proposed rear setback is to the deck, 22-7.7f and requires a variance.
  - c. Required side yard setback is 6'/16' existing and 8'/18' when floor area exceeds 85% of max, Schedule 5-1, note 16.

The variances identified above were evaluated based on architectural drawings prepared, signed and sealed by Chris Rudman, AIA, dated November 10, 2024 for review and November 15, 2024 for zoning, consisting of seven (7) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.

  
Marie DeSoucey  
Land Use & Development Official

Cc: David M. Marks, P.E., C.M.E., Borough Engineer  
Sabine O'Connor, Technical Assistant





Borough of Rumson  
BOROUGH HALL  
80 East River Road  
Rumson, New Jersey 07760-1689  
rumsonnj.gov

Marie DeSoucey  
Land Use & Development Official  
office 732.842.3022  
mdesoucey@rumsonnj.gov

DENIED

136/8

RECEIVED  
NOV 20 2024  
ZONING OFFICE

## LAND USE & DEVELOPMENT PERMIT

Date: 11/20

Fee: \$ 50

Check # 5574

ALL RESIDENTIAL APPLICATIONS \$50

ALL COMMERCIAL APPLICATIONS \$100

Checks shall be made payable to: Borough of Rumson.

With this application you are required to submit one (1) copy of a current survey/plot plan/site plan and one (1) set of architectural plans. Surveys must show the existing conditions and exact location of physical features including metes and bounds, drainage, waterways, specific utility locations and easements, all drawn to scale. All surveys *must* be prepared by a land surveyor (signed/sealed). Architectural plans must show Zoning data existing and proposed setbacks (Schedule 5-1), Building Height (Schedule 5-2), Lot Coverage and Building Coverage (Schedule 5-4) and Floor Area (Schedule 5-3).

ALL APPLICATIONS MUST INCLUDE A PLAN(S), SURVEY AND/OR SKETCH. SUBMIT ALL PDF'S TO MDESOUCEY@RUMSONNJ.GOV UPON SUBMISSION OF THE LAND USE & DEVELOPMENT PERMIT.

PLEASE CONFIRM A DIGITAL COPY HAS BEEN PROVIDED UPON SUBMISSION.

ALL FLOOD ZONE APPLICATIONS MUST BE ACCOMPANIED WITH AN ELEVATION CERTIFICATE

- \*\* Pools require a fence. Please indicate type, height, and area of fence and location of filter/heater.  
\*\*\* Air Conditioner Units: Please indicate proposed location & provide specifications which show the height.  
Generators: Please indicate proposed location & provide specifications which show that the unit has a Critical Muffler & Sound Attenuation Enclosure. These must be screened from neighboring properties and the street.

(Please Print Clearly)

1. Location of property for which Permit is desired:

Street Address: 30 Grant Avenue Block: 136 Lot 8 Zone: R-5

2. Applicant's Name: Jane Markov Address: 153 Cedar Drive Blts Nekt

Email ArturMarkov@gmail.com Tel. (718)473-5555 NT0773

3. Property Owner's Name: Jane Markov Address: S/A/A

Email S/A/A Tel. (718)473-5555

4. Description of Work: \_\_\_\_\_

Renovation single family  
with a second floor addition

Has the above premises been the subject of any prior application to the Planning Board/ Zoning Board of Adjustment?

Yes ☒ No ☐ If yes, state date: 1996 (Submit a copy of the Resolution)

Board: Zoning Resolution # (if any): 3050

Applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All Zoning Permits will be granted or denied within ten (10) business days from the date of complete application.

[Signature]  
Signature of Applicant

11/20/24  
Date

Arthur Marner  
Print Applicant's Name

\_\_\_\_\_  
Signature of Owner (if different than applicant)

11/20/24  
Date

\_\_\_\_\_  
Print Owner's Name (if different than applicant)

----- **FOR OFFICE USE** -----

Approved \_\_\_\_\_ Denied ☒

COMMENTS:

See Denial Memo Attached  
dated December 4, 2024

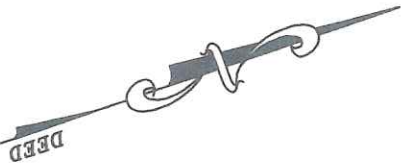
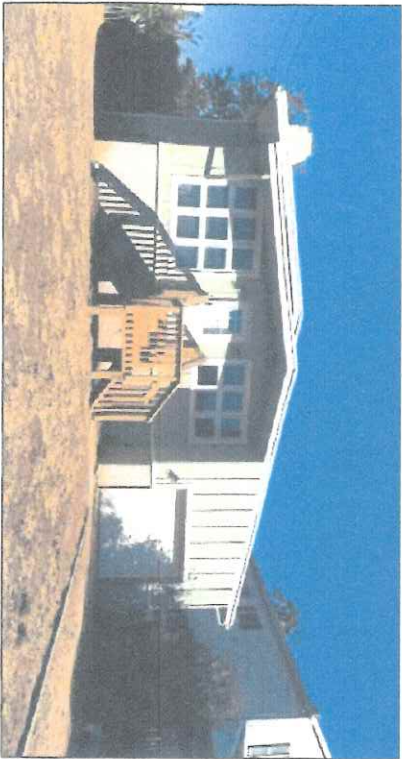
**DENIED**

Appeals of the Office's determination must be filed within 20 days of the date of issuance to the Planning/Zoning Board as provided by the New Jersey Municipal Land Use Law. *This limitation is not imposed if the applicant is seeking a variance, site plan, or subdivisions.* The Board reserves the right to deem additional information and/or variances required. Approved permits are valid for one (1) year, and may be extended by action of the Zoning Board.

[Signature]  
Marie DeSoucey  
Land Use & Development Official

12/4/24  
Date

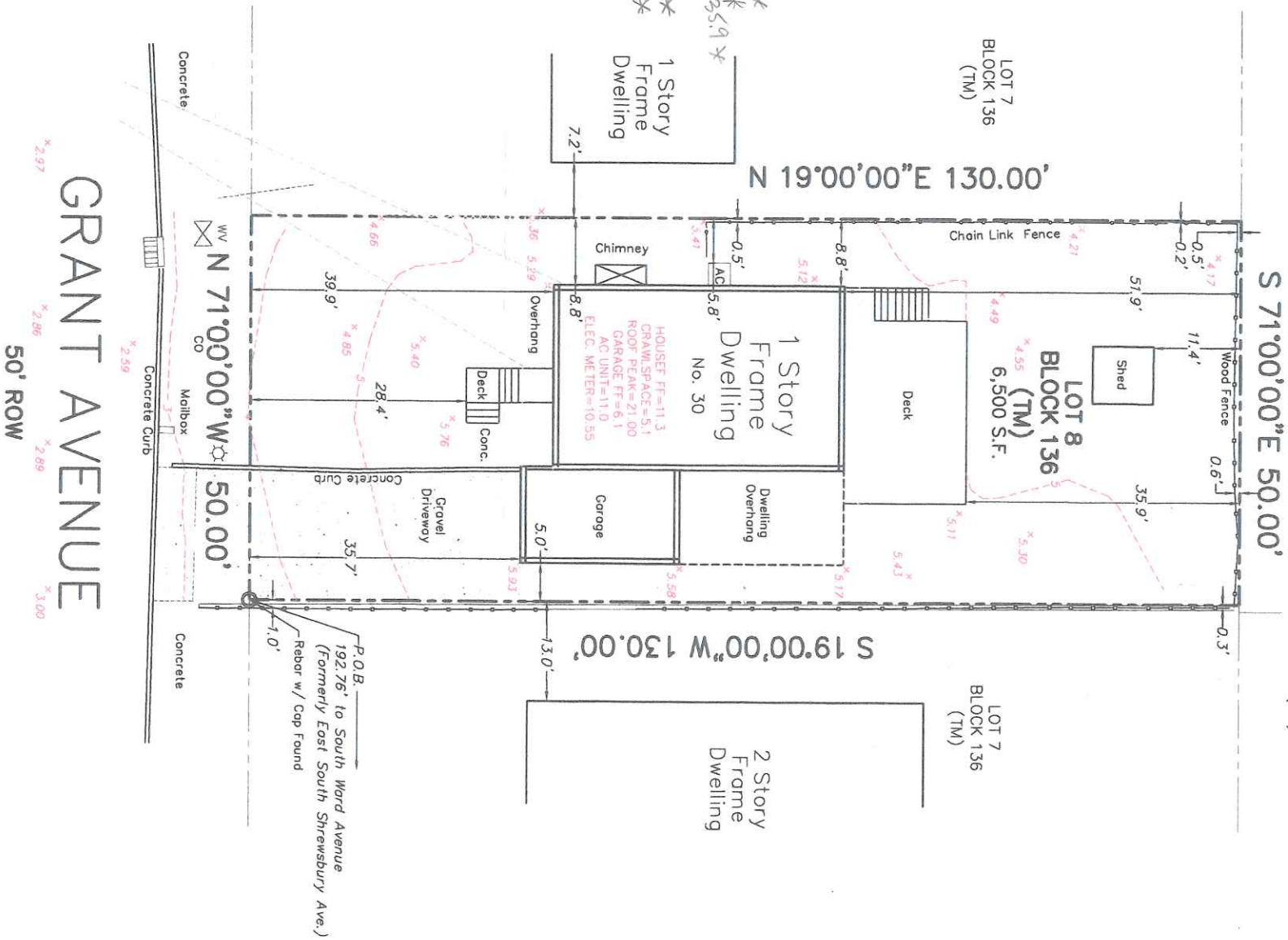




ZONING REQUIREMENTS

RESIDENTIAL R-5		REQUIRED	EXISTING
LOT SIZE		6,000 S.F.	6,500 S.F.
LOT WIDTH		50 FT.	50.00 FT.
FRONT YARD		35 FT.	35.7 FT.
SIDE YARD		6 FT.	5 FT.
TOTAL SIDE YARD		16 FT.	13.8 FT.
REAR YARD		35 FT.	51.9 FT.
BLDG. HEIGHT		35 FT.	15 FT. +/-
LOT COVERAGE		2853 SQ FT.*	3,204 SQ. FT.
BLDG. COVERAGE		1444 SQ FT.**	1,714 SQ. FT.

\*2375 + (0.319 x Sq Ft. over 5000)  
\*\*1165 + (0.186 x Sq Ft. over 5000)



FLOOD MAP DATA:  
Monmouth County, NJ - Preliminary Map dated January 31, 2014 No. 34025C0201G - Zone AE / BFE 8 ft. (NAVDB88)

NOTES:

- Lot and block numbers refer to the Borough of Rumson tax map.
- Survey of premises performed without benefit of a title report.
- Survey is subject to agreements, easements, covenants and other restrictions if any.
- Contractor shall locate underground utilities including sprinklers, gas line, water service and sanitary lateral prior to construction.
- Elevations are based on USGS NAVD 88 datum based on GPS location of the benchmark indicated on the plans.
- Field survey performed on October 19, 2015 and boundary lines located and established by Lakeland Surveying, Inc. (Certificate of Authorization No. 24GA28090000).
- Survey based on Deed Book 5330 Page 680.

To: Any insuror of title relying hereon and any other party in interest: "In consideration of the fee paid for making this survey, I hereby certify to its accuracy (except such easements, if any, that may be located below the surface of the lands or on the surface and not visible) as an inducement for any insuror of title to insure the title to the lands and premises shown thereon. This responsibility limited to the current matter as of the date of the survey."

Only copies from the original of this survey clearly marked with an original of the land surveyor's embossed seal shall be considered to be valid copies.

This certification is made only to the current parties for purchase and/or mortgage of herein delineated property. No responsibility or liability is assumed by Surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey of title, resale of property, or any other person, either directly or indirectly.

JOB NO.	RE0004431
LSI NO.	140316
DATE	10/21/15
SCALE	1"=20'
FIELD	JSG
DRAWN BY	JES
CHECKED BY	MJC

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NOTICE TO THE CONTRACTOR

PRIOR TO BIDDING AND/OR CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THIS DRAWING AND ALL FIELD CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



REVISION	DATE	MADE BY	APPROVED
FINAL SURVEY ASBUILT			

Prepared for Gary Ruberg & Bernice Ruberg  
30 Grant Avenue  
Tax Lot 8 - Block 136  
Borough of Rumson, Monmouth County, New Jersey

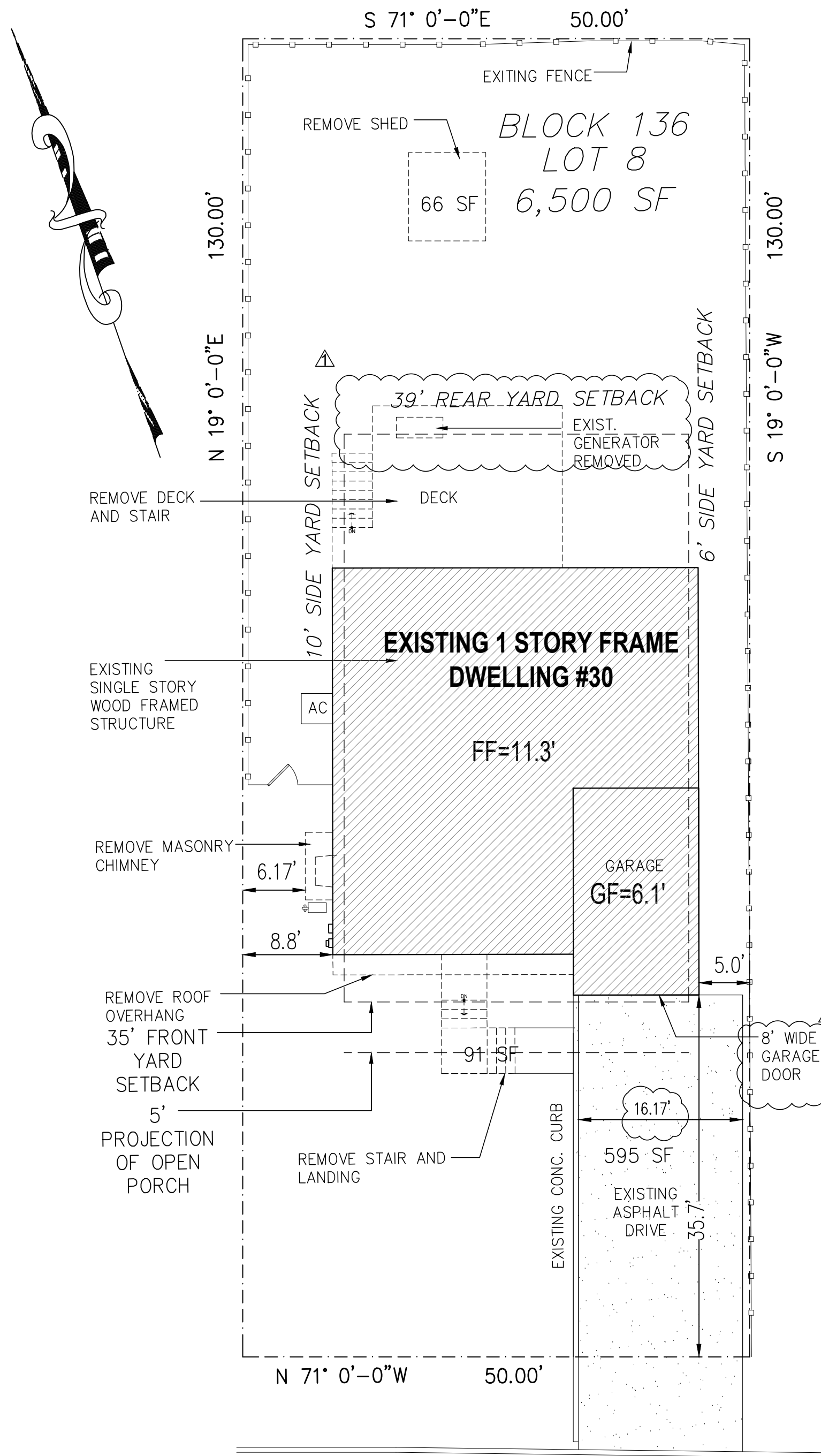
FIELD SURVEY PERFORMED UNDER THE DIRECT SUPERVISION OF:

MARC J. CUFONE, P.L.S.  
PROFESSIONAL LAND SURVEYOR  
New Jersey License No. GS 41329

Lakeland  
Surveying

117 Hibernia Avenue | Rockaway | NJ  
Ph: (973) 625-5670 | Fx: (973) 625-4121  
www.LakelandSurveying.com  
Certificate of Authorization #24GA28090000





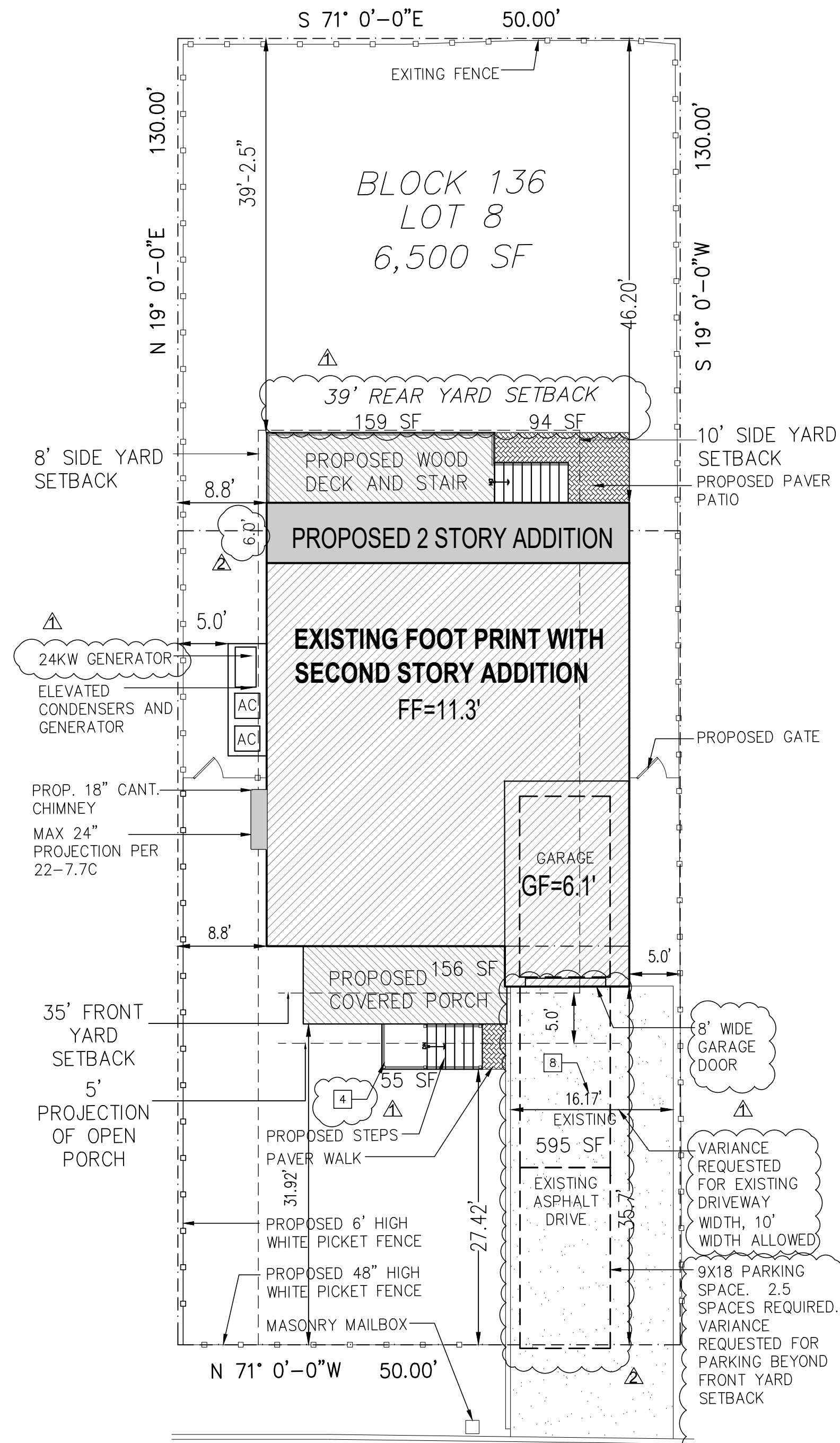
GRANT AVENUE  
(50' R.O.W.)

## 1 SITE REMOVAL PLAN

SCALE: 1" = 10'

### LIST OF REQUESTED VARIANCES:

- 22-7.3a EXPANSION OF A NONCONFORMING BUILDING RESULTING IN ADDITIONAL NONCONFORMITIES  
22-7.3e A NONCONFORMING BUILDING OR STRUCTURE MAYBE ALTERED, PROVIDED THAT THE COST OF THE ALTERATION DOES NOT EXCEED IN THE AGGREGATE, 50% OF THE ASSESSED VALUE OF THE STRUCTURES.  
22-7.3f (2) THE ENLARGEMENT, EXTENSION OR ADDITION CONFORMS TO ALL REQUIREMENT OF THIS CHAPTER AND SHALL NOT RESULT IN THE CREATION OF ANY NONCONFORMITY RELATED TO THE LOT AND THE AGGREGATE OF ALL STRUCTURES OR BUILDING.
- SCHEDULE 5-3A MAX FLOOR AREA RATIO PROPOSED OF 0.52 WHEREAS 0.18 IS EXISTING AND 0.38 IS PERMITTED.
- SCHEDULE 5-3A MAX FLOOR AREA PROPOSED OF 3,363 SF, WHEREAS 1,202 IS EXISTING AND 2,450 IS PERMITTED.
- SCHEDULE 5-4 BUILDING COVERAGE OF 1,807.6 SF, WHEREAS, 1,714 SF IS EXISTING AND 1,444 SF IS PERMITTED (EXISTING NONCONFORMITY INTENSIFIED).
- SCHEDULE 5-1 MINIMUM PRINCIPAL BUILDING SIDE YARD SETBACK OF 5', WHEREAS 8.0' IS REQUIRED. (EXISTING NONCONFORMITY- INTENSIFIED)
- SCHEDULE 5-1, NOTE 16. MIN. PRINCIPAL BUILDING COMBINED SIDE YARD SETBACK OF 13.8' WHEREAS 18.0' IS REQUIRED, (EXISTING NONCONFORMITY-INTENSIFIED)
- 22-9.2B5 (C) PARKING AREAS SHALL NOT BE LOCATED IN ANY REQUIRED FRONT YARD (EXISTING NONCONFORMITY- UNCHANGED)
- 22-7.26H PROPOSED DRIVEWAY WIDTH OF 16.2' LOCATED IN THE FRONT YARD SETBACK, WHEREAS THE PERMITTED WIDTH OF THE DRIVE SERVING THE GARAGE IS 10' (GARAGE + 2') (EXISTING NONCONFORMITY- UNCHANGED)



GRANT AVENUE  
(50' R.O.W.)

## 2 SITE PROPOSED IMPROVEMENTS

SCALE: 1" = 10'

## AREA CALCULATIONS

DESCRIPTION	SQUARE FT	REMARKS
EXISTING FLOOR AREA		
EXISTING FIRST FLOOR AND GARAGE	1,444 G.S.F.	EXCLUDING FRONT PORCH AND DECK
EXISTING CHIMNEY REMOVAL	-18 G.S.F.	
PROPOSED CHIMNEY	9 G.S.F.	
REAR ADDITION	216.6 G.S.F.	
PROPOSED PORCH	156 G.S.F.	
BUILDING COVERAGE	1,807.6 G.S.F.	NON-CONFORMING
LOT COVERAGE		
BUILDING COVERAGE	1,807.6 G.S.F.	
DRIVEWAY	595 G.S.F.	
DECK	159 S.F.	
REAR PAVER AND STEPS	94 S.F.	
AC PLATFORM	44 S.F.	
TOTAL LOT COVERAGE	2,699.6 S.F.	CONFORMING
FLOOR AREA		NOTE 3
FIRST FLOOR	1,342 S.F.	EXCLUDES GARAGE
SECOND FLOOR	1,516 S.F.	
TWO AND HALF STORY	505 S.F.	NOTE 7 1516 X 1/3= 505.3 SF "HABITABLE"
	3,363 S.F.	
TWO AND HALF STORY AREA, 5' AND ABOVE	900 S.F.	HALF STORY MAX OF 60% OF 2ND FLOOR 1516X0.60=909.6 SF ALLOWED. 900 SF < 909.6 SF CONFORMS

FLOOD ZONE AE / BFE 8' 34025C0201H

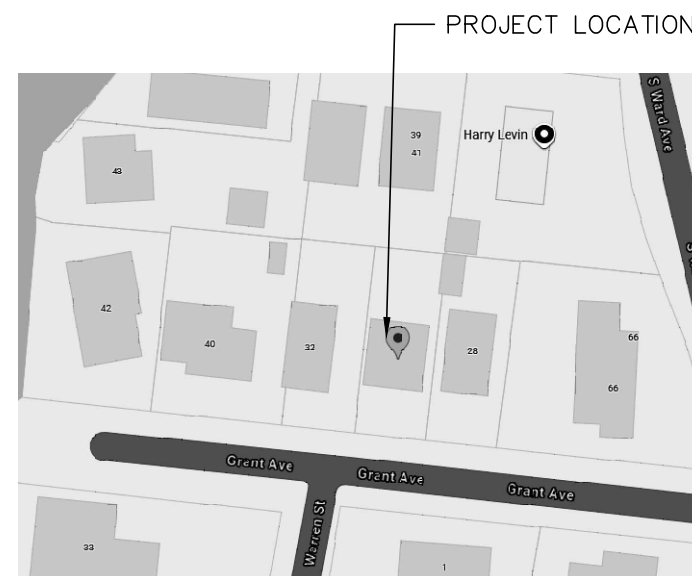
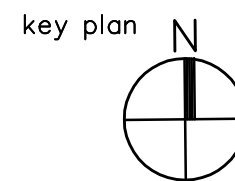
## ZONING DATA

ZONING TABLE (ZONE: R-5)					
DESCRIPTION	REQUIRED/PERMITTED	EXISTING	PROVIDED	REMARKS	NOTES
HEIGHT	2 1/2 STORIES 35' MAX RIDGE 26' EAVES (FROM BFE)	1 STORY 21'	2 1/2 STORIES 34'-11"	CONFORMING	
SETBACK					
(FRONT)	35'	35.7'	35.7'	CONFORMING	
(SIDE)	6' +2' = 8'	5'	5'	EXISTING NON-CONFORMING VARIANCE REQUESTED	6
(TOTAL SIDE)	16' +2' = 18'	13.8'	13.8'	EXISTING NON-CONFORMING VARIANCE REQUESTED	6
(REAR)	0.30 x 130=39'	51.9'	46.2' STRUCTURE 39.21' DECK	CONFORMING	5
MIN LOT AREA	6000 SF	6,500 SF		CONFORMING	
LOT COVERAGE	2375 +(0.319 x SF OVER 5000) 5000-6500= 1500 X 0.319=478.5 478.5+2375=2853.5 SF	3,204 SF	2,699.6 S.F.	CONFORMING	
BUILDING COVERAGE	1165 +(0.186 x SF OVER 5000) 5000-6500=1500 X 0.186=279 SF 279+1165= 1444 SF	1,714 SF	1,807.6 SF	NON-CONFORMING VARIANCE REQUESTED	
FLOOR AREA RATIO	5000 X 0.4=2000 1500 X 0.3= 450 2450 2450/ 6500 = .38 MAX FAR =2,450 SF	1202 SF  1202/6500= .18 FAR	1342 SF 1ST FLR 1516 SF 2ND FLR 505 SF 2.5 FLR 3,363 SF 3,363/6500 = .52 FAR	NON-CONFORMING VARIANCE REQUESTED	

### NOTES:

- PER SCHEDULE 5-1 (9) THAT PORTION OF A ROOFED, OPEN-SIDED PORCH FACING A FRONT YARD, WHICH DOES NOT EXCEED 10% OF THE PRINCIPAL BUILDING GROUND FLOOR AREA, MAY BE EXCLUDED FROM THE CALCULATION OF THE MAXIMUM LOT AND BUILDING COVERAGE FOR A SINGLE-FAMILY RESIDENTIAL DWELLING. THE PORCH MAY BE SCREENED AND INCLUDE PORCH RAILING AND/OR BALUSTRADE AND, BELOW THE FLOOR LEVEL, PORCH LATTICE OR OTHER ENCLOSURE AROUND THE FOUNDATION, BUT IT SHALL NOT OTHERWISE BE ENCLOSED.
- NOT USED.
- FLOOR AREA IS MEASURED BETWEEN THE INSIDE FACE OF EXTERIOR WALLS. PER 22-2.
- PROPOSED FRONT STAIRS ARE IN THE FRONT YARD SETBACK WHICH IS PERMITTED PER SCHEDULE 5-1, NOTE 20.
- IN THE R-5 ZONE, THE MINIMUM REAR YARD REQUIRED SHALL BE AT LEAST 30% OF THE LOT DEPTH, ROUNDED UP TO THE FULL FOOT, OR 35 FEET, WHICHEVER IS GREATER, BUT NOT TO EXCEED 50 FEET.
- PER SCHEDULE 5-1 IF FLOOR AREA EXCEEDS EIGHTY-FIVE (85%) PERCENT OF THE MAXIMUM PERMITTED, THE MINIMUM SIDE YARD SHALL BE THE GREATER OF: 1) THE MINIMUM YARD REQUIREMENT SHOWN IN SCHEDULE 5-1 PLUS TWO (2') FEET OR 2) THE MINIMUM YARD REQUIREMENT DETERMINED FROM NOTE 7, WHERE APPLICABLE.
- HABITABLE ATTIC SHALL HAVE AND APPROVED STAIRWAY AND CEILING ARE AT A MIN. OF 7' ABOVE THE ATTIC FLOOR AND IS NOT MORE THAN  $\frac{1}{3}$  THE AREA OF THE NEXT FLOOR BELOW.
- MAX DRIVEWAY WIDTH SERVING AND ATTACHED GARAGE IS THE GARAGE DOOR WIDTH PLUS TWO FEET.

key plan



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

**CHRIS RUDMAN**  
**ARCHITECT**

11 TOPAZ DRIVE JACKSON, NJ 08527 732.331.9790  
CHRISRUDMAN96@GMAIL.COM

Issued for REVIEW ZONING date 11.10.24 11.15.24

REVISD PER COMMENTS 11.28.24  
REVISD PER COMMENTS 3.3.25

### CONSTRUCTION DOCUMENT NOTE

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CHRIS RUDMAN, AIA  
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## MARKOV RESIDENCE

30 GRANT AVENUE  
RUMSON, NJ

## ALTERATIONS TO RESIDENCE

drawing title

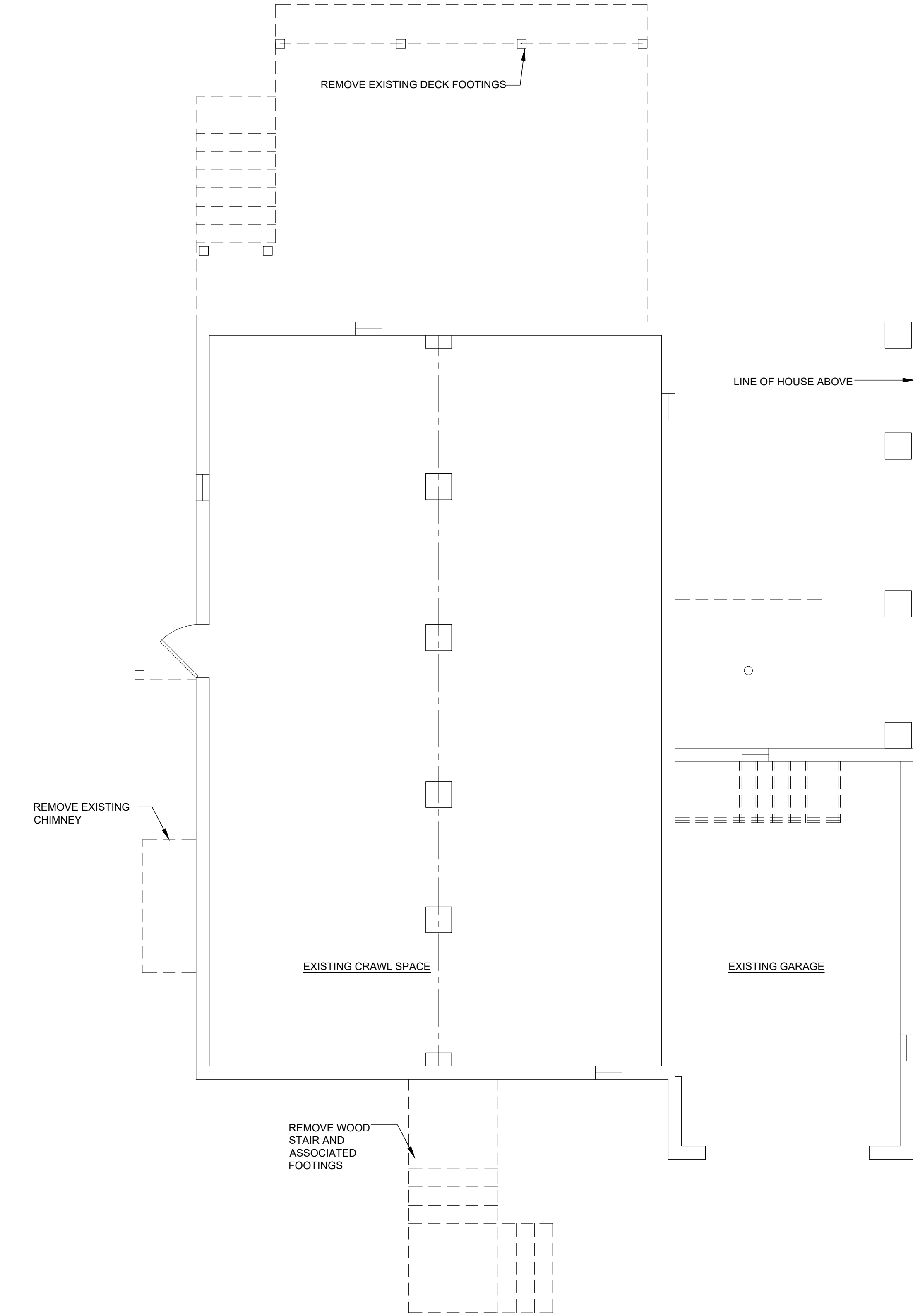
## SITE PLAN

project no 24017.00

sheet no.

SP-1.00

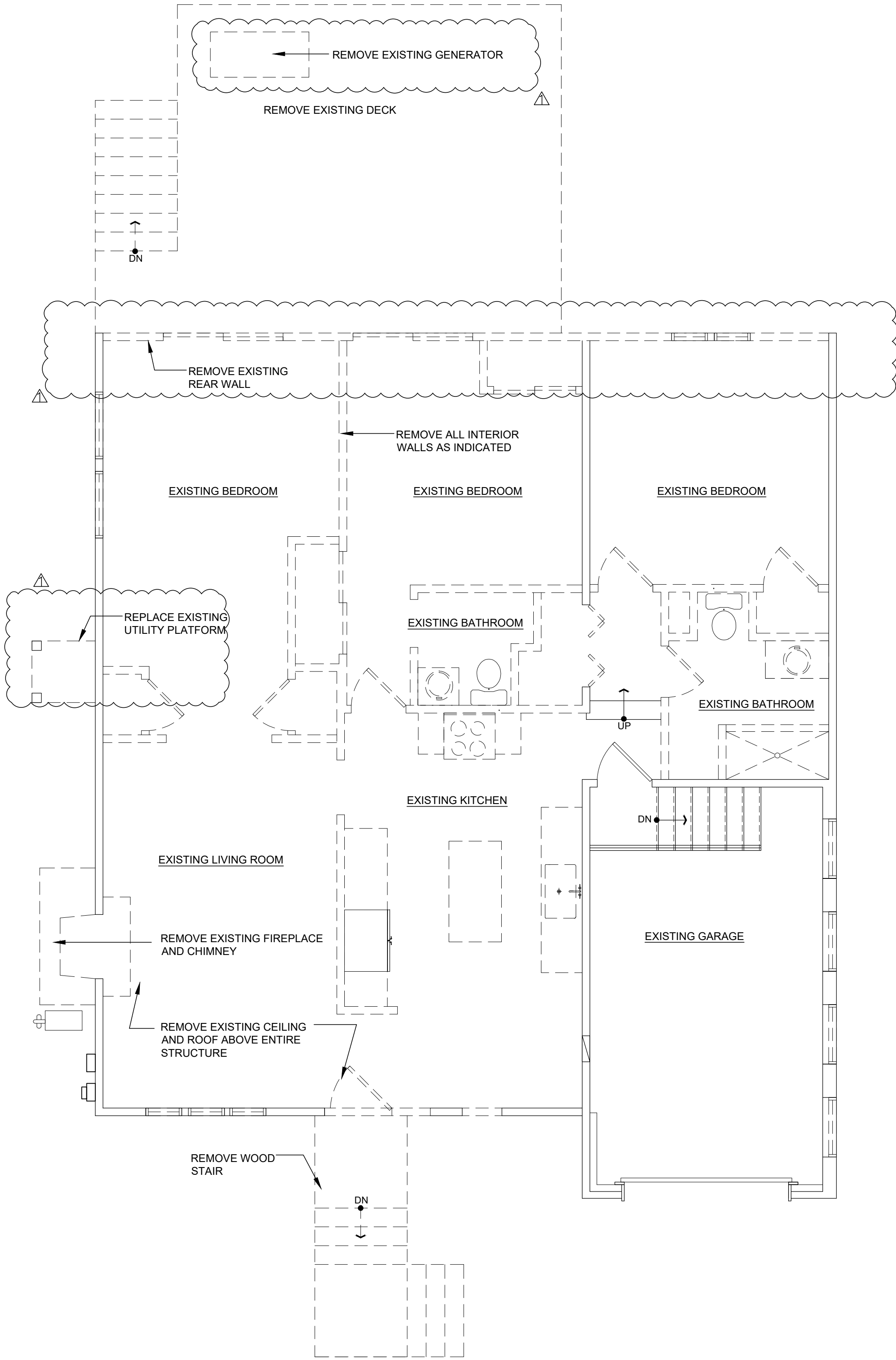




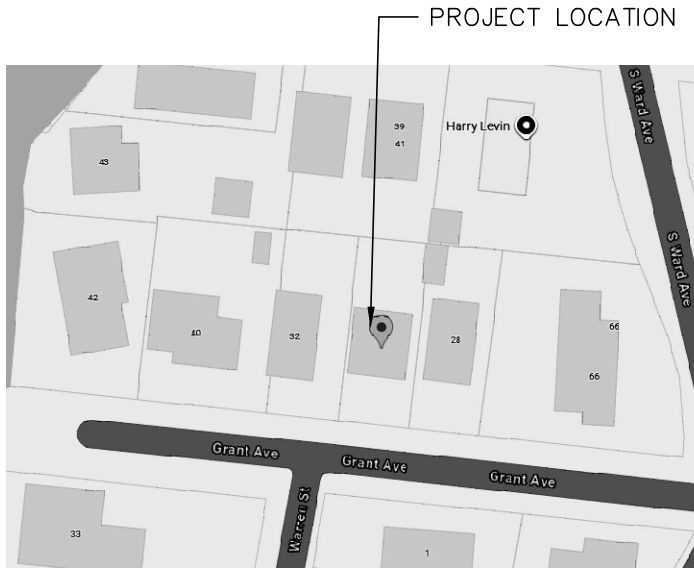
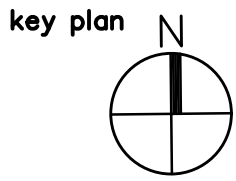
1 FOUNDATION REMOVAL PLAN  
SCALE: 1/4" = 1'-0"

### CONSTRUCTION LEGEND

--- PARTITION TO BE REMOVED



2 FIRST REMOVAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

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issued for	date
REVIEW	11.10.24
ZONING	11.15.24

△ REVISED REMOVAL PLAN 3.3.25

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MARKOV RESIDENCE

30 GRANT AVENUE  
RUMSON, NJ

ALTERATIONS TO RESIDENCE

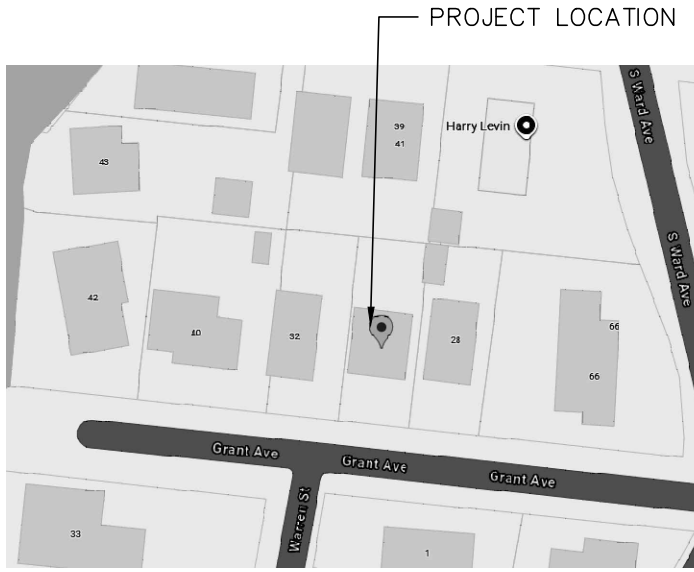
drawing title

REMOVAL PLANS

project no 24017.00

sheet no.

A1.00



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

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MARKOV RESIDENCE

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RUMSON, NJ  
ALTERATIONS TO RESIDENCE

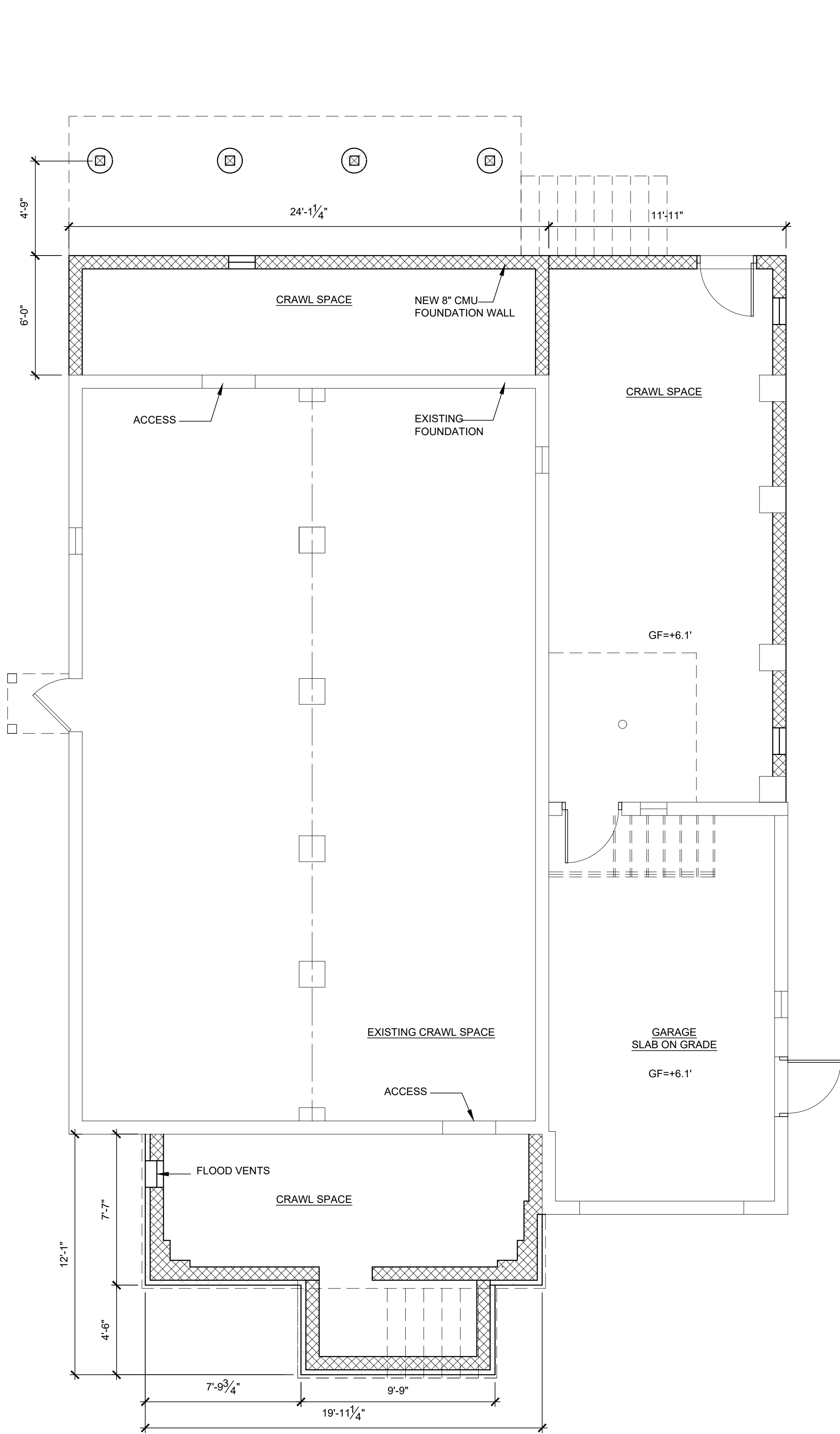
drawing title

FOUNDATION AND  
FIRST FLOOR PLAN

project no 24017.00

sheet no.

A1.01



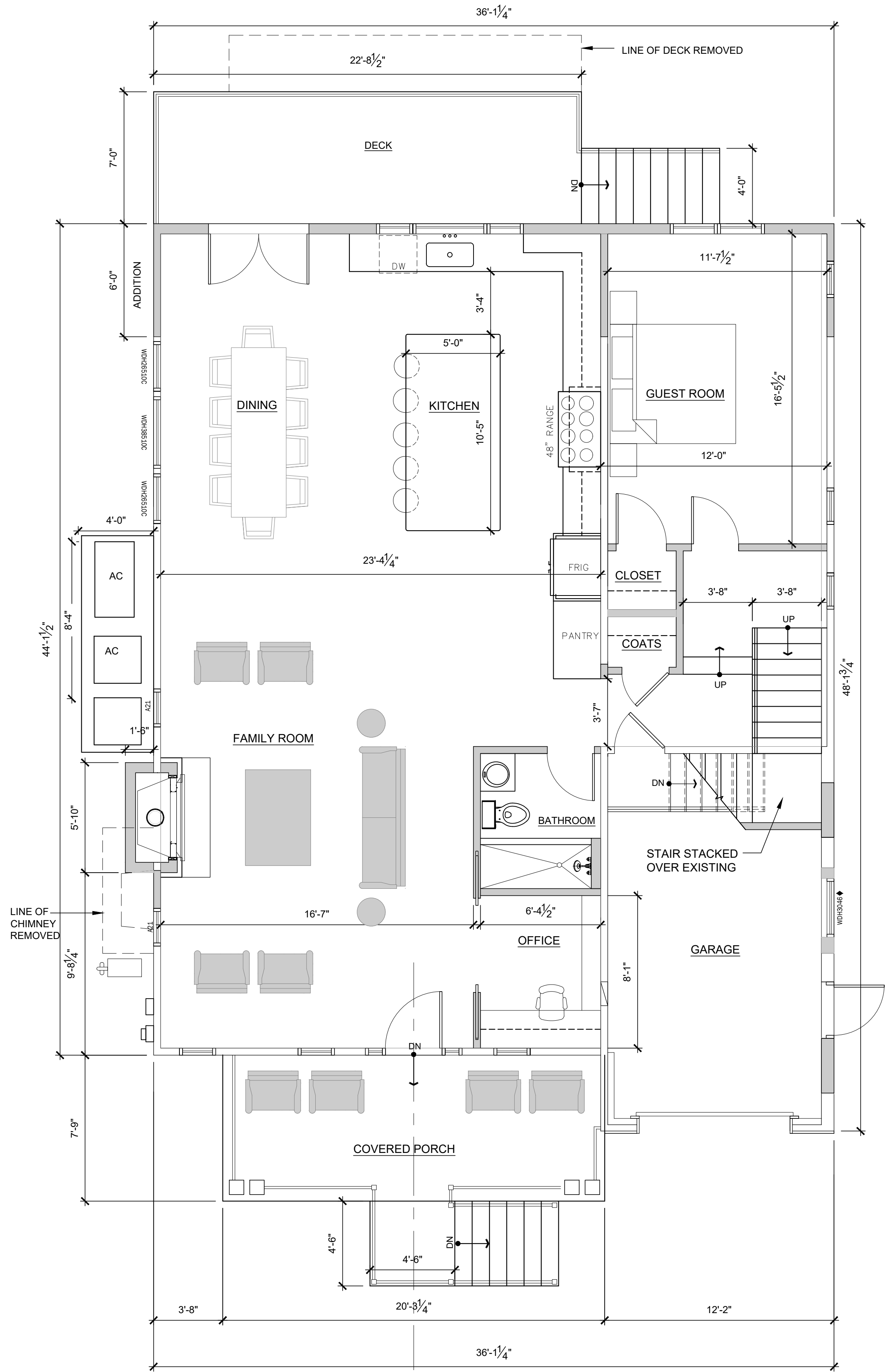
1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

PROPOSED PARTITION  
(2X4 D.F. STUD #2 OR BETTER)

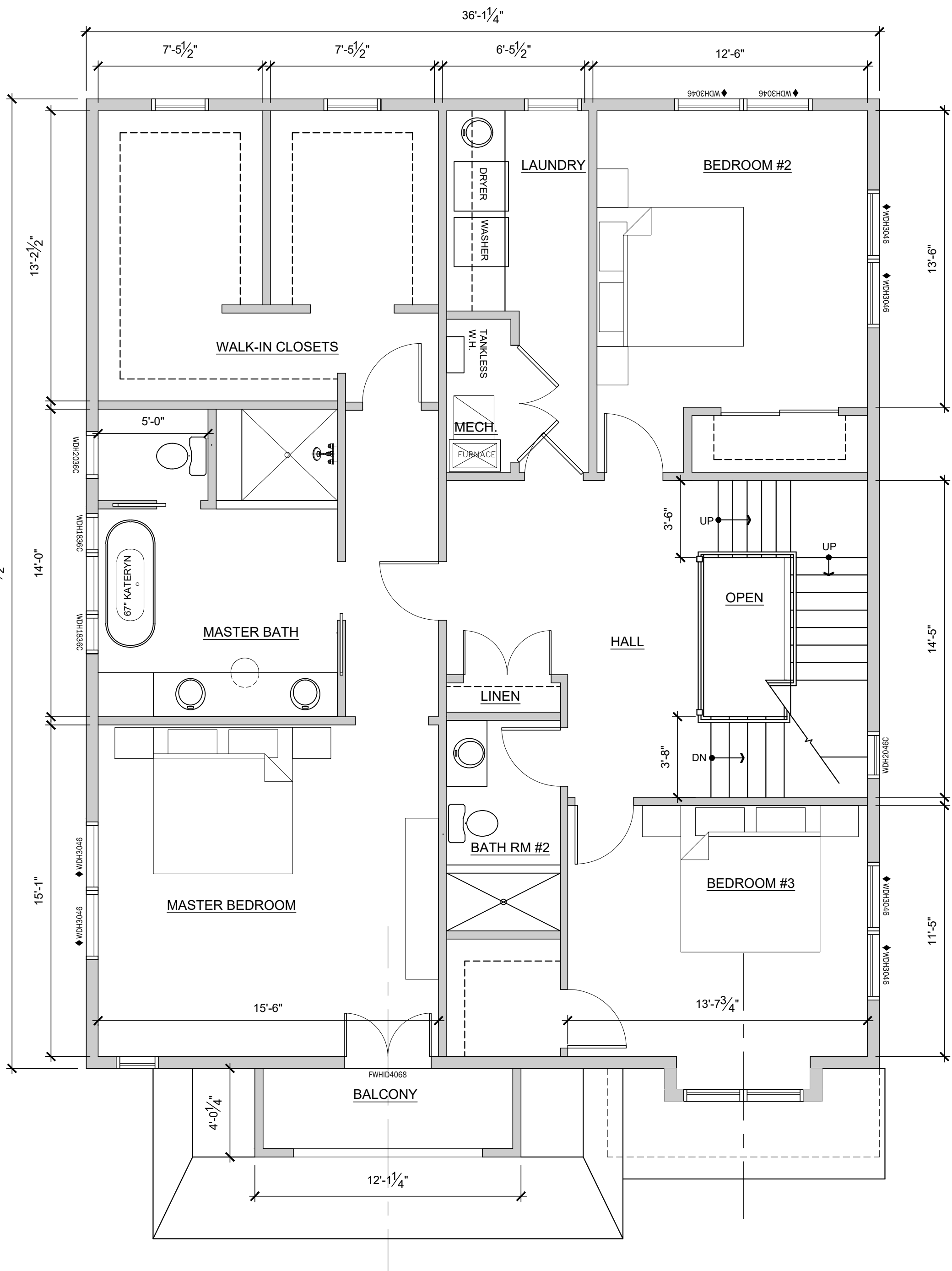
PROPOSED DOOR



2 FIRST FLOOR PLAN

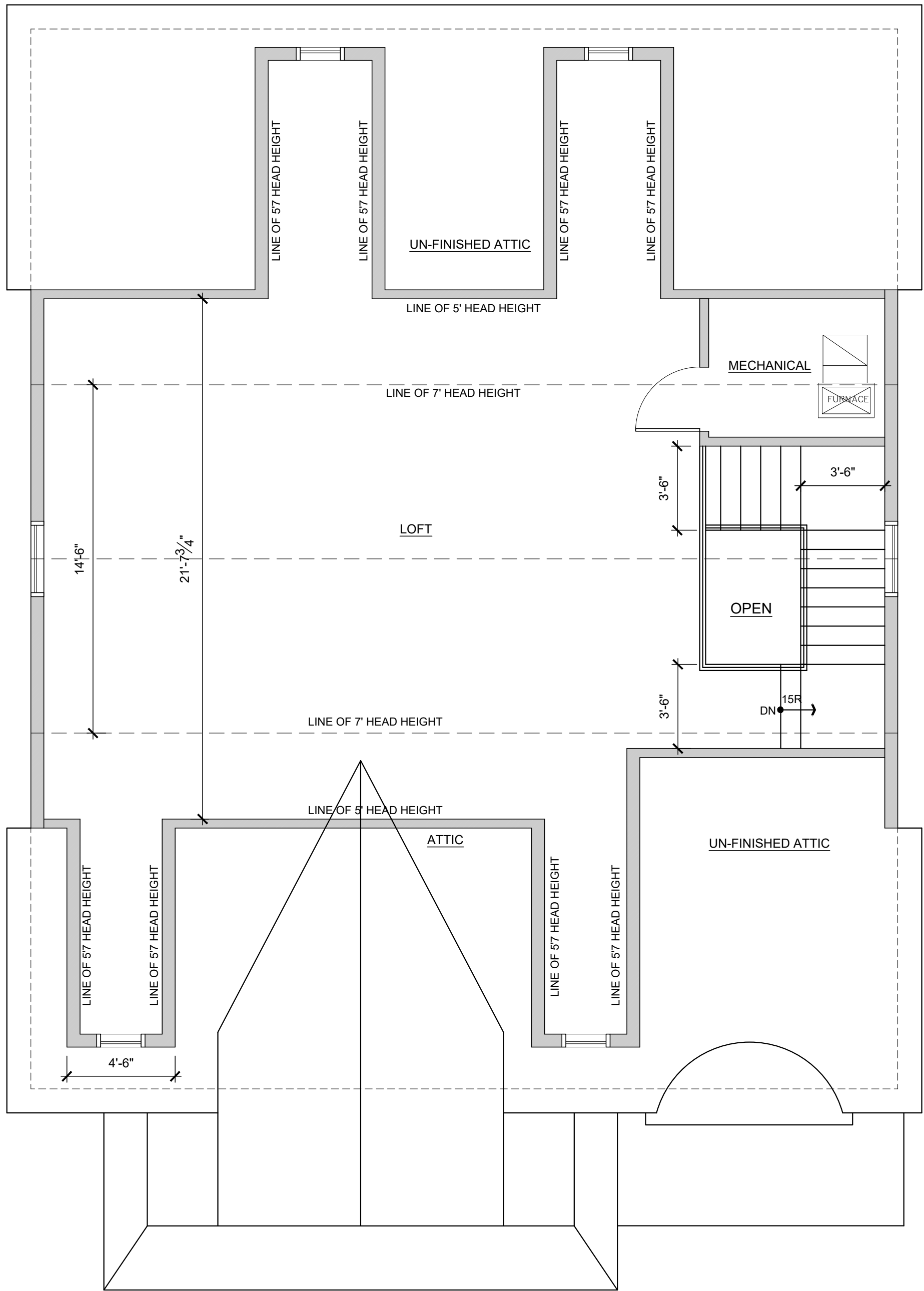
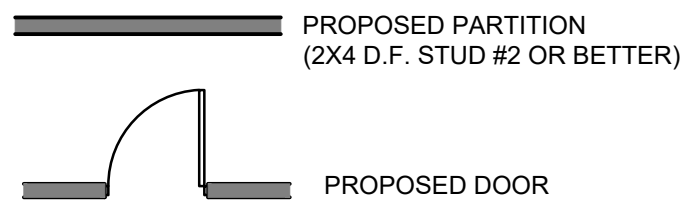
SCALE: 1/4" = 1'-0"





1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

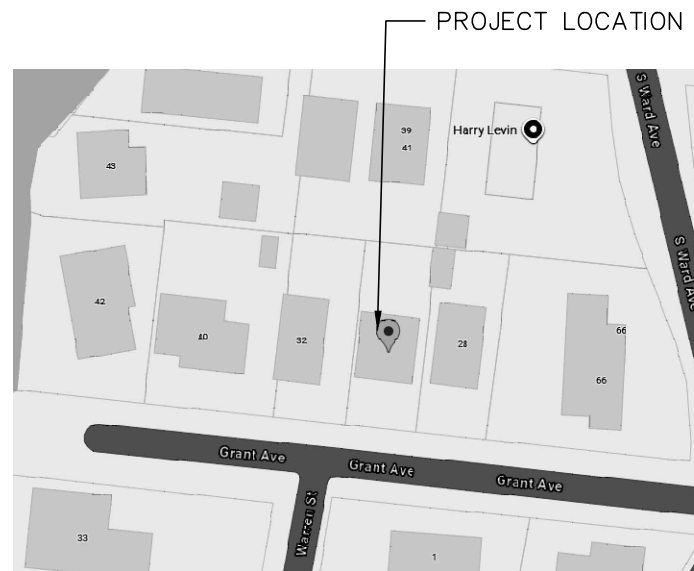
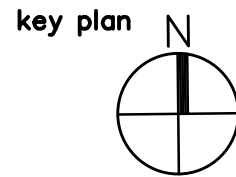
### CONSTRUCTION LEGEND



2 HALF STORY PLAN  
SCALE: 1/4" = 1'-0"

#### HABITABLE ATTIC

- SHALL MEAN AN ATTIC WHICH HAS AN APPROVED STAIRWAY AS A MEANS OF ACCESS AND EGRESS AND IN WHICH THE CEILING AREA IS AT A MINIMUM HEIGHT OF SEVEN (7) FEET ABOVE THE ATTIC FLOOR AND IS NOT MORE THAN 1/3 THE AREA OF THE NEXT FLOOR BELOW, WHICH IS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2015
- HABITABLE ATTIC CALCULATION: BUILDING AREA OF SECOND FLOOR = 1593 X .33 = 525.69 SF ALLOWABLE HABITABLE ATTIC AREA.



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

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issued for	date
REVIEW	11.10.24
ZONING	11.15.24

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MARKOV RESIDENCE

30 GRANT AVENUE  
RUMSON, NJ

ALTERATIONS TO RESIDENCE

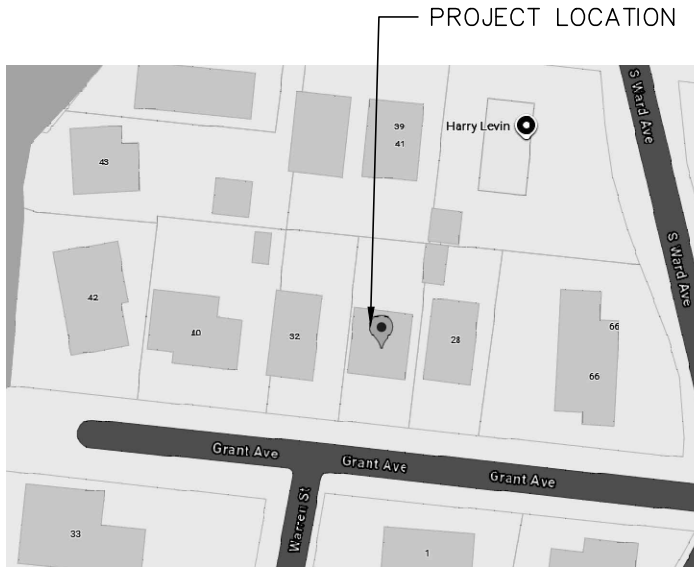
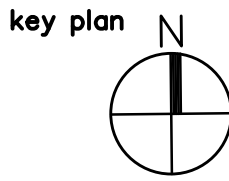
drawing title

SECOND AND HALF  
STORY PLANS

project no 24017.00

sheet no.

A1.02



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

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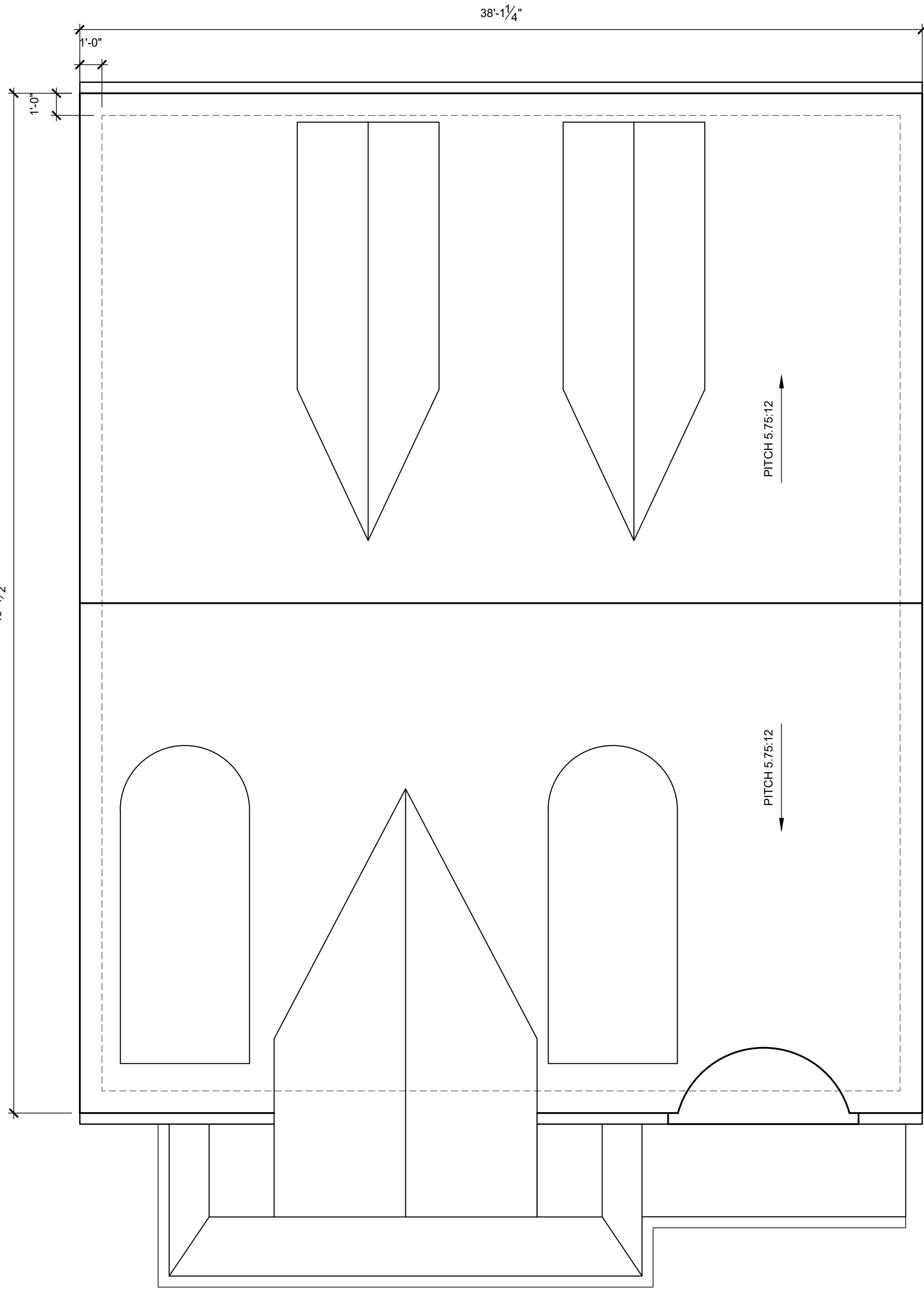
drawing title

ROOF PLAN

project no 24017.00

sheet no.

A1.03



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"





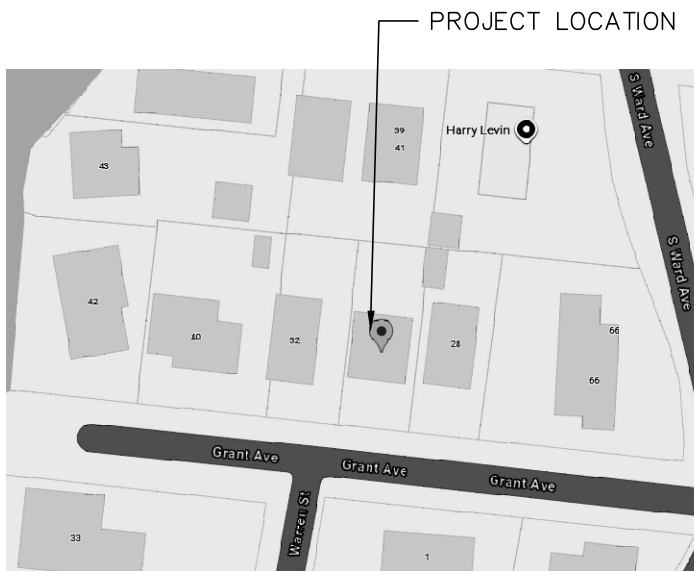
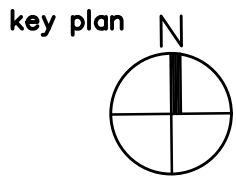
1 NORTH ELEVATION-(FRONT)  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION-(SIDE)  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES: # REFERS TO KEYNOTE

1. REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
2. EXTERIOR WATER PROOF LIGHT FIXTURES ARE SELECTED BY OWNER, PROVIDE PROPER BACK BOX.
3. WINDOWS SHALL HAVE INSULATED CLEAR LOW-E GLAZING.
4. PROVIDE PREFINISHED METAL DRIP EDGE TO MATCH TRIM COLOR, TYPICAL.
5. WHITE ALUMINUM LEADER DRAIN INTO LEADER BOOT AND DIRECT AWAY FROM HOUSE VIA UNDERGROUND 4" STORM LINE AND DRAIN TO DAY LIGHT.
6. SCHEDULED VINYL SIDING.
7. SCHEDULED ASPHALT SHINGLES.
8. 10X10 CPVC COLUMN ENCLOSURE AROUND 6X6 P.T. POST.
9. 36" RAILING SYSTEM WITH BALUSTERS AT 4" O.C.
10. LINE OF FOUNDATION.
11. 3" STONE VENEER
12. 2" STONE WATER TABLE.
13. VENTED RIDGE WITH RIDGE SHINGLE.
14. STANDING SEAM METAL ROOF.
15. SNOW STOPS.
16. 3.5" CPVC CROWN.
17. CPVC FASCIA AND RAKES.
18. FRIEZE BOARD.
19. CPVC BEAM TRIM.



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

Architect

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MARKOV RESIDENCE

30 GRANT AVENUE  
RUMSON, NJ

ALTERATIONS TO RESIDENCE

drawing title

EXTERIOR ELEVATIONS

project no 24017.00

sheet no.

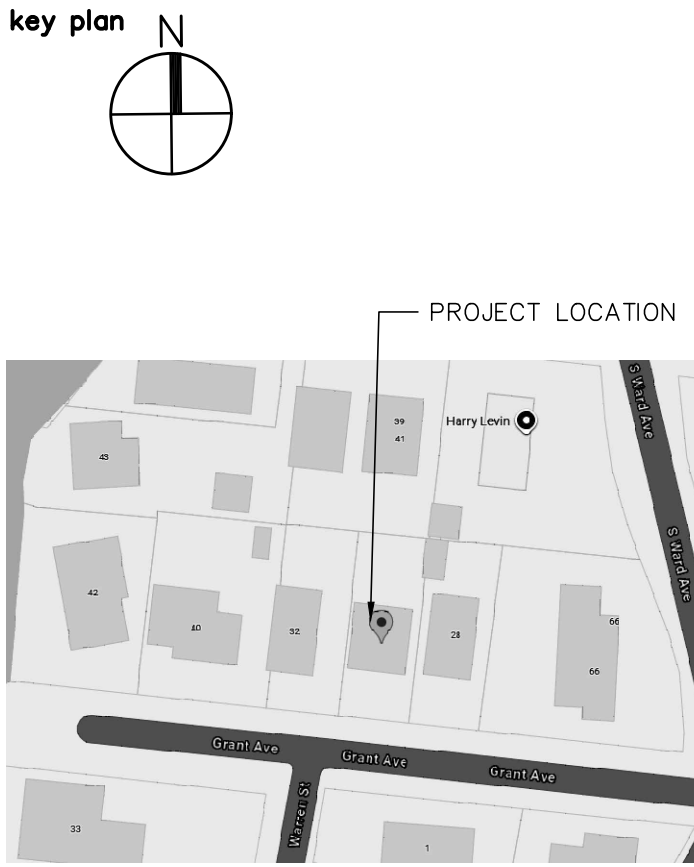
A2.01



1 SOUTH ELEVATION-(REAR)  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION-(SIDE)  
SCALE: 1/4" = 1'-0"



BLOCK : 136  
LOT : 8  
CONST. CLASS : V B

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RUMSON, NJ  
ALTERATIONS TO RESIDENCE

drawing title  
**EXTERIOR ELEVATIONS**

project no 24017.00  
sheet no. **A2.02**



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EXISTING LIVING SPACE  
926 SQ. FT. ±

EXISTING GARAGE SPACE  
240 SQ. FT. ±

PROVIDE ONE (1) ENGINEERED  
FLOOD VENT FOR EVERY 200  
SQ. FT. OF ENCLOSED AREA

MIN # VENTS LIVING SPACE = 926 SF/200 = 5

MIN # VENTS GARAGE = 240 SF/200 = 2

EXISTING DECK TO BE RAISED WITH  
DOWELING AND BE MODIFIED AS  
REQUIRED. VERIFY LOCATION OF  
EXISTING DOORWAYS IN FIELD.

EXISTING STAIRS TO BE  
REMOVED AS REQUIRED.  
(TYP.)

PROPOSED TIMBER LANDING  
AND STAIRS VERIFY LOCATION  
OF EXISTING DOORWAYS IN  
FIELD (TYP.)

NEW 12"x3'-0" CONTINUOUS  
CAST-IN-PLACE CONCRETE  
FOOTING W/ (3) #5 BARS  
CONT.

NEW 12"x4'-0"x4'-0"  
CAST-IN-PLACE CONCRETE  
FOOTING W/ (4) #5 BARS  
E.W. (TYP.)

EXISTING FF = 7.60'  
PROPOSED FF = 11.00'

T/WALL EL. = 10.18' ±

PROPOSED  
CRAWLSPACE ACCESS  
CONTRACTOR TO  
DETERMINE LOCATION  
IN FIELD

AC UNIT PLATFORM TO BE  
RAISED TO HOUSE OFE  
ELEVATION. COORDINATE  
W/ PORCH FRAMING DETAILS  
FOR NEW PLATFORM.  
CONTRACTOR OPTION TO  
COUNTERWEIGH WHEN  
APPLICABLE.

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

EXISTING GIRDER  
TO REMAIN (TYPICAL)

EXISTING SLAB-ON-GRADE  
TO REMAIN.

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

### GENERAL NOTES:

- CONTRACTOR TO VERIFY IN FIELD ALL EXISTING FOUNDATION DIMENSIONS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES. PROPOSED FINISH ELEVATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
- ALL PROPOSED TOP OF WALL ELEVATIONS HAVE BEEN SET BASED ON ASSUMED FRAMING AND SUBFLOORING SIZES. CONTRACTOR TO CONFIRM AND ADJUST AS NECESSARY.
- INTERIOR GRADE ELEVATION WITHIN THE CRAWLSPACE TO BE AT OR HIGHER THAN PROPOSED FINISHED EXTERIOR GRADE.
- CONTRACTOR TO PROVIDE DRAINAGE THROUGH EXISTING SLAB. CONTRACTOR OPTION TO BREAK SLAB OR CORE DRILL 6" HOLES THROUGH EXISTING MUD SLAB AT 48" O.C. IN EACH DIRECTION.
- FOUNDATION WALL TO BE 8" REINFORCED CMU W/ #5 BARS AT 40" O.C. PROVIDE TRUSS TYPE HORIZONTAL REINFORCEMENT AT 16" O.C. VERTICALLY. GROUT WALL BELOW GRADE SOLID.
- PROVIDE CONTINUOUS 8" BOND BEAM W/ (2) #4 BARS AT THE TOP OF WALL.
- MASONRY PIER (MP) - INDICATES 16" CMU MASONRY PIERS AT LOCATION OF EXISTING FOUNDATION PIERS. REINFORCED W/ (4) #5 BARS AT CORNERS. PROVIDE 1/4" SMOOTH BAR TIE WITHIN JOINTS AT 8" O.C. VERTICALLY. CONTRACTOR TO VERIFY LOCATION AND CONFIRM DIMENSIONS AS REQUIRED.
- CONTROL SURFACE OR SUBSURFACE WATER DURING CONSTRUCTION TO ALLOW FOUNDATION WORK TO BE DONE IN DRY AND UNDISTURBED SOIL.
- ALL SONOTUBE PORCH STAIR POST FOUNDATION TO BE 16" W/ (4) #5 BARS VERTICAL AND #3 TIES. EMBED SONOTUBES MINIMUM 2'-6".
- CONTRACTOR TO PROVIDE (2) SIMPSON STRONG TIE STD14 HOLD-DOWNS OR EQUAL AT EACH STRUCTURE CORNER (1- EA DIRECTION).
- PIPE SLEEVES FOR UTILITIES ARE TO BE TWO PIPE SIZES LARGER THAN PIPE SHOWN. VERIFY W/ TRADE CONTRACTOR.
- ALL WOOD FRAMING SHALL BE SYP GRADE #2 OR BETTER.
- CONTRACTOR TO VERIFY THE BOTTOM OF EACH FLOOD VENT OPENING NOT TO EXCEED 12" FROM EXTERIOR FINISHED GRADE.
- ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION IF GROUNDWATER ENCOUNTERED BEFORE 2'-6" DEPTH.
- CONTRACTOR TO PROVIDE AT LEAST ONE CRAWLSPACE ACCESS (16"x24" MINIMUM). LOCATION TO BE VERIFIED BY THE CONTRACTOR IN FIELD BASED ON FINISHED GRADE.
- ALL BUILDING MATERIALS USED BELOW BASE FLOOD ELEVATION PLUS ONE FOOT (1') TO BE FLOOD DAMAGE RESISTANT.
- SEE SHEET 2 OF 2 FOR TYPICAL DETAILS.

## PROPERTY INFORMATION

THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING SPECIAL FLOOD HAZARD AREAS AS PER THE FIRM FLOOD INSURANCE RATE MAP:

FIRM FLOOD INSURANCE RATE MAP MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 201 OF 457 CONTAINS RUMSON, BOROUGH OF MAP NUMBER 340250201/EFFECTIVE DATE SEPTEMBER 23, 2009.

FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED. (EL. 9.0) N.A.V.D. 1988

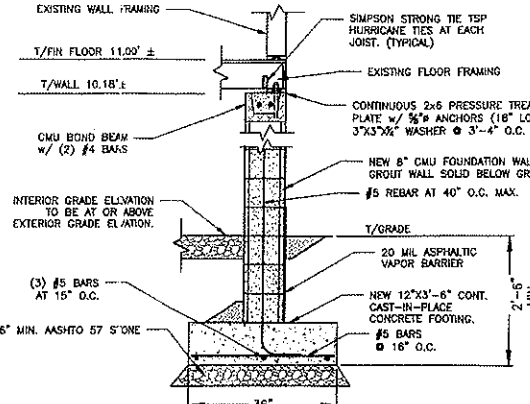
NOTE: THE SUBJECT PROPERTY IS LOCATED WITHIN THE FOLLOWING SPECIAL FLOOD AREA AS PER THE FIRM (PRELIMINARY) FLOOD INSURANCE RATE MAP:

FIRM FLOOD INSURANCE RATE MAP MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 201 OF 457 CONTAINS RUMSON, BOROUGH OF MAP NUMBER 340250201/EFFECTIVE DATE SEPTEMBER 23, 2009.

FLOOD ZONE AE - BASE FLOOD ELEVATIONS DETERMINED. (EL. 8.0) N.A.V.D. 1988

THE ABOVE PRELIMINARY FLOOD HAZARD DATA WAS OBTAINED ON FEBRUARY 2, 2015 FROM THE FEMA "VIEW YOUR COMMUNITY'S PRELIMINARY FLOOD HAZARD DATA" WEBSITE:

<https://hazards.fema.gov/femaportal/prelimdownload/>

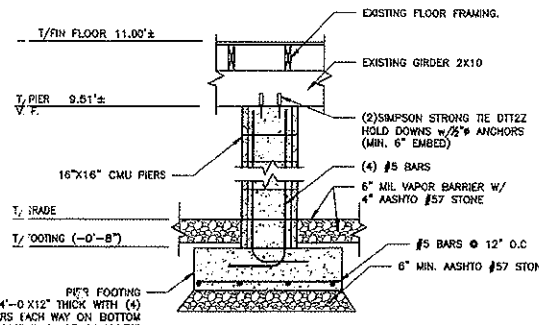


GENERAL NOTES:

- EXISTING FLOOR FRAMING (2X8) AND SUBFLOOR SHEATHING (1/2\"/>
- ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION IF GROUNDWATER ENCOUNTERED BEFORE 2'-6" DEPTH.

## TYPICAL WALL SECTION

NOT TO SCALE

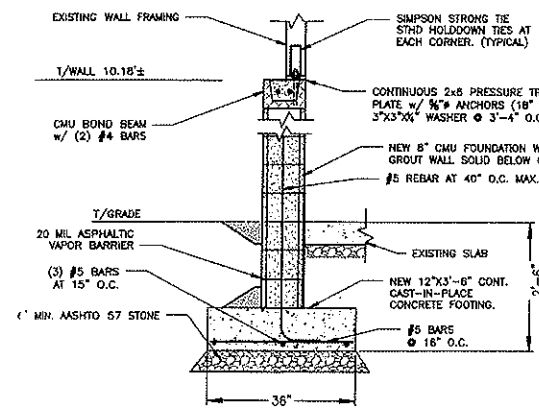


GENERAL NOTES:

- EXISTING FLOOR FRAMING (2X8) AND SUBFLOOR SHEATHING (1/2\"/>
- CONTRACTOR OPTION TO CRISS-CROSS (2) 6" CMU EACH VERTICAL COURSE IN LIEU OF 16" CMU.

## TYPICAL PIER SECTION

NOT TO SCALE



GENERAL NOTES:

- ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION IF GROUNDWATER ENCOUNTERED BEFORE 2'-6" DEPTH.

## TYPICAL GARAGE WALL SECTION

NOT TO SCALE

## GENERAL NOTES

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING NOTES SHALL APPLY)

- STRUCTURAL DESIGN DATA  
DEAD LOADS 10 PSF  
LIVE LOADS 20 PSF  
ROOF 40 PSF  
SLEEPING FLOORS 30 PSF  
DECKS 40 PSF  
ATTICS 10 PSF  
STAIRS 40 PSF  
WIND LOADS  
BASIC WIND SPEED V<sub>3s</sub> = 115 MPH  
IMPORTANCE FACTOR I<sub>w</sub> = 1.00  
EXPOSURE CATEGORY II  
2. ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).  
3. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE 2009 INTERNATIONAL BUILDING CODE (IBC) AND THE 2009 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION.  
4. THE CONTRACTOR SHOULD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL REVIEW THE DRAWINGS PRIOR TO START OF WORK. THE CONTRACTOR SHOULD NOTIFY THE ENGINEER OF ANY OMISSIONS, CONTRADICTIONS, OR CONFLICT PRIOR TO STARTING THE WORK.  
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION, DEMOLITION, AND OCCUPANCY PERMITS PRIOR TO THE START OF CONSTRUCTION.  
6. ALL CONSTRUCTION SHOULD BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, ORDINANCES, AND GENERALLY ACCEPTED GOOD CONSTRUCTION PRACTICES.  
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCING OF CONSTRUCTION AND FOR THE EXECUTION OF THE WORK. THE CONTRACTOR IS ALSO SOLELY RESPONSIBLE FOR THE SAFETY OF HIS EMPLOYEES AND THE JOB SITE.  
8. FOOTING DESIGN FOR SOIL BEARING PRESSURE OF 1,500 PSF.

## CONCRETE NOTES

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING NOTES SHALL APPLY)

- CONCRETE COMPRESSIVE STRENGTH (F<sub>c</sub>): 4,000 PSI
- ALL REINFORCING TO BE GRADE 60, DEFORMED BARS.
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS.
- ALL REINFORCING TO BE INSTALLED WITH 3" MINIMUM CLEAR DISTANCE AT LOCATIONS WHERE THE CONCRETE IS PLACED AGAINST THE EARTH, AND WITH A 2" MINIMUM CLEAR DISTANCE AT ALL OTHER LOCATIONS, UNLESS OTHERWISE NOTED ON PLANS.
- ALL CONCRETE SHOULD BE POURED OVER WELL COMPACTED GRAVEL, AT 95% MAXIMUM DENSITY OR OVER 3/4" CRUSHED STONE, AND SHOULD BE PLACED IN MAXIMUM LIFTS OF 8 INCHES.
- MINIMUM OVERLAP AT REBAR SPICES SHALL BE 36 X BAR DIAMETER.
- PROVIDE PRECAST LINTELS FOR ALL OPENINGS OR RECESSES IN BLOCK WALLS WHERE NO SPECIFIC LINTEL IS NOTED.

## MASONRY NOTES

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING NOTES SHALL APPLY)

- ALL MASONRY WORK SHALL CONFORM TO FOLLOWING STANDARDS, WHERE APPLICABLE:  
PORTLAND CEMENT ASTM C150, TYPE 1  
MASONRY CEMENT ASTM C90, TYPE 2  
LIME ASTM C207, TYPE S  
SAND ASTM C144  
WATER PORTABLE  
2. ALL CMU SHOULD BE HOLLOW, LOAD BEARING UNITS WITH AN AVERAGE COMPRESSIVE STRENGTH OF NOT LESS THAN 1,800 PSI.  
3. ALL CMU SHALL CONFORM TO ASTM C145 WHEN USED BELOW GRADE AND ASTM C90 WHEN USED ABOVE GRADE.  
4. ALL CELLS OF ANY CMU UNITS INSTALLED DIRECTLY UNDER A LOAD BEARING MEMBER SHALL BE FILLED SOLID.  
5. MASONRY UNITS SHALL BE LAID IN RUNNING BOND PATTERN WITH FULL FACE SHELL MORTAR BEDS.  
6. UNLESS OTHERWISE NOTED REINFORCED WALLS AS FOLLOW:  
• PROVIDE A MINIMUM (1) #5 VERTICAL REBAR SPACED AT 40" ON CENTER, MAXIMUM, CONTINUOUSLY FROM SUPPORT TO SUPPORT. IN ADDITION PROVIDE (1) #5 REBAR ON EACH SIDE OF PROPOSED OPENINGS WITHIN WALLS.  
• INSTALL STANDARD WEIGHT (W1.7) TRUSS TYPE HORIZONTAL JOINT REINFORCEMENT AT MAXIMUM OF 16" SPACING ON CENTER, WHERE TWO LONGITUDINAL BARS ARE USED, THE SPACES BETWEEN THESE BARS SHALL BE THE WIDEST THAT THE MORTAR JOINT WILL ACCOMMODATE.  
7. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE HOOKED OR BEND.  
8. GROUTING PROCEDURES SHALL BE IN STRICT COMPLIANCE WITH THE RECOMMENDATION AS OUTLINED BY NCMA AND ACI.  
9. CELL REINFORCING SHOULD BE FULLY GROUTED.  
10. STARTING JOINT FOR ALL MASONRY SHALL BE LAID WITH FULL BED MORTAR COVERAGE.  
11. AREA ADJACENT TO ALL CMU WALL OPENINGS SHOULD BE GROUT FILLED FOR THE FULL HEIGHT OF THE WALL FOR A DISTANCE OF 24 INCHES WIDE FROM THE FACE OF THE OPENING.

## LUMBER AND FRAMING NOTES

(UNLESS OTHERWISE NOTED OR SHOWN ON PLAN, THE FOLLOWING NOTES SHALL APPLY)

- ALL STRUCTURAL FRAMING LUMBER SHALL BE HEM FIR #2, DOUGLAS FIR-LARCH #2, SOUTHERN PINE #2, OR BETTER.
- ALL PRESSURE TREATED MEMBER SHOULD BE TREATED IN ACCORDANCE WITH AWPA STANDARDS: ALKALINE COPPER QUAT (ACQ), CHROMATED COPPER ARSE, TYPE C (CCA-C), COPPER AZOLE (CBA-A & CA-9).
- PROVIDE CUSTOM STEEL FASTENERS AND/OR JOIST HANGER AT ALL FLUSHING FRAMING CONNECTIONS.
- ALL TIMBER UTILIZED SHOULD HAVE THE FOLLOWING MINIMUM PROPERTIES:  
EXTREME FIBER BENDING STRENGTH 900 PSI  
MODULUS OF ELASTICITY 1,366 PSI  
HORIZONTAL SHEAR STRENGTH 75 PSI  
COMPRESSIVE STRENGTH 405 PSI  
5. ALL PARALAM BEAMS SHALL BE OF LAM LVL AS MANUFACTURE BY GEORGIA PACIFIC WOOD PRODUCTS OR EQUAL AND SHOULD HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:  
EXTREME FIBER BENDING STRENGTH 2,250 PSI  
MODULUS OF ELASTICITY 1,366 PSI  
HORIZONTAL SHEAR STRENGTH 285 PSI  
COMPRESSIVE STRENGTH 750 PSI  
6. ALL MULTI-LAYER PARALAM BEAMS SHOULD BE FASTENED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.  
7. ALL FRAMING SHALL BE IN ACCORDANCE WITH TABLE R602.3(1) "FASTENER SCHEDULE" OF THE INTERNATIONAL BUILDING CODE (IBC)  
8. PROVIDE SIMPSON WAB3 AT 4 FOOT ON CENTER ALONG TOP OF CMU BOND BEAM TO BASE PLATE.

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SEAN M. SAVAGE, P.E.  
NEW JERSEY PROFESSIONAL ENGINEER  
LICENSE NO. 2468451000

2-18/15  
DATE

MATRIXNEWORLD  
Engineering Progress

Matrix New World Engineering, Inc.  
442 State Route 35, Second Floor  
Eatontown, New Jersey 07724  
WBE / DBE / SBE  
NEW JERSEY CERTIFICATE OF AUTHORIZATION No. 246A2782300

30 GRANT AVENUE  
(084431) GARY RUBERG  
TAX LOT 8 BLOCK 136  
BOROUGH OF RUMSON  
MONMOUTH COUNTY, NEW JERSEY

## FOUNDATION PLAN & GENERAL NOTES

PROJECT NUMBER:  
LD14-137

SCALE: AS SHOWN

PHASE R161

SHEET 1 OF 2